

## GENERAL INFORMATION

### Subject

Request	-	Special Use Permit for new building for school
Location	-	2323 W. Bancroft Street
Owner	-	Oblates of St. Francis de Sales High School 2323 Bancroft Street Toledo, OH 43607
Architect	-	Dave Koppelman 3232 Central Park West Toledo, OH 43607

### Site Description

Zoning	-	RS9 & CO / Single-Dwelling Residential & Office Commercial
Area	-	± 26 acres
Frontage	-	± 1,375' along Bancroft Street
Existing Use	-	School
Proposed Use	-	School

### Area Description

North	-	POS / Ottawa Park
South	-	RS9 / Calvary Cemetery
East	-	RS9 / School, church
West	-	RD6 & CO / Single-family Homes

### Parcel History

SPR-20-05	-	Minor Site Plan Review for parking lot expansion at St. Francis DeSales High School. Approved administratively with conditions 4/20/05.
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### Applicable Plans and Regulations

- Toledo Municipal Code Part Eleven: Planning and Zoning

## STAFF ANALYSIS

- Forward Toledo Comprehensive Land Use Plan

The applicant, St. Francis de Sales High School, is requesting a Special Use Permit for a new building on the south side of its property, adjacent to Don Kober baseball field. This new building (2,560 sf) will serve as storage and house two existing batting cages to support the development of the school's athletic training programs. Adjacent land uses include Ottawa Park to the north, Calvary Cemetery to the south, a school and church to the east, and single-family homes to the west.

### Parking and Circulation

There are no proposed changes to the site's parking and circulation. The proposed new building will not increase parking demand or trigger need for parking improvements.

### Landscaping

Per the Planning Director's request, the applicant has provided landscape screening along the western side of the site where the proposed new building abuts a residential district. The site plan depicts an existing fence with the addition of twelve (12) trees, the quantity of which is acceptable for the ninety-eight-foot (98') length of fence where they are proposed. The applicant shall submit type and species of the proposed trees to the Planning Director for final approval. No other landscape improvements are required.

### Elevations

Institutional buildings are subject to TMC§1109.0500 *Building Façade Materials and Color*. The proposed metal material will be 26-gauge minimum and is considered a predominant material. Staff requests that the proposed exposed fasteners be revised and kept to a minimum. Due to the proximity of the proposed structure to the abutting residential district, the Planning Director also requested that the applicant revise the original elevations to depict earth-tone colors. In response, revised elevations were submitted that depict brown, charcoal, and slate shades, which are acceptable earth-tone colors.

### Forward Toledo Comprehensive Land Use Plan

The Forward Toledo Plan designates this area for institutional land uses, which is intended to preserve regional and local anchors which require large campus areas, such as high schools, colleges, and hospitals. Expansion should be sensitive to the well-being of neighbors. Staff recommends approval of the proposed new building as it is aligned with the Forward Toledo Plan.

**STAFF RECOMMENDATION** (cont'd)

The staff recommends that the Toledo City Plan Commission recommend approval of SUP24-00106, a request for a Special Use Permit for a new building for school located at 2323 W. Bancroft Street, to the Toledo City Council, for the following **two (2) reasons**:

1. The proposed use meets the stated purpose of the Zoning Code [TMC§1111.0706(A) – *Review & Decision-Making Criteria*], and
2. The proposed use is compatible with adjacent uses in terms of scale, site design, and operating characteristics. [TMC§1111.0706(B) – *Review & Decision-Making Criteria*].

The staff further recommends approval of SUP24-00106, a request for a Special Use Permit for a new building for school located at 2323 W. Bancroft Street, subject to the following **eighteen (18)** conditions:

The following conditions are listed by agency of origin. Applicants are encouraged to contact each of the agencies to address compliance with their conditions.

Engineering Services

1. Drainage may not be directed or allowed to flow across the property line.

Water Distribution

2. Taps 2” and smaller do not require plan submittal and approval by Water Department; standards water fees apply.
3. Taps larger than 2” must submit detailed site utility plan for review, approval and fee assessment by Water Engineer. Plans must show all utilities within the right-of-way, water feature sizes and distances; include callouts for any new taps by the City of Toledo or tees by the contractor (example tap callout: “8”x4” tapping sleeve and valve by the City of Toledo at owner’s expense. Excavation, shoring, valve box, backfill and restoration by Contractor”).
4. All supply lines to fire sprinkler systems must be at least 6” and must have a PIV (Post Indicator Valve) properly protected against mechanical damage.
5. Maintain 18” vertical clearance and 10’ horizontal clearance with all other utilities.
6. Existing water service lines to structures removed from the site will be abandoned by the City of Toledo at the developer’s expense (water kill permit).

**STAFF RECOMMENDATION (cont'd)**

Water Distribution (cont'd)

7. All Commercial, Irrigation and Domestic services (in which there is a lawn irrigation system downstream of the Domestic Meter), must have a containment-type backflow device (RPZ) installed at the meter. A backflow assembly diagram has to be submitted and approved by Backflow Coordinator.
8. Water service is subject to the Rules and Regulations of the Department of Public Utilities.
9. See current Construction Standards for allowed materials.
10. Current Water General Notes must be included on plans.

Bureau of Fire Prevention

No comments or concerns.

Division of Transportation

No comments or concerns.

Division of Environmental Services

No comments received at time of print.

Division of Sewer and Drainage Services

11. S&DS requires that all existing private sewer lines that are not being removed or properly abandoned (both storm & sanitary) be cleaned and inspected.
12. S&DS requires that the existing private sanitary lines (after they have been cleaned) that are not being removed or properly abandoned be televised from the building (or private cleanout) to where they connect with the public sewer system if this has not been done in the past two (2) years. An electronic copy (DVD/memory stick) shall be provided to S&SD demonstrating the lines cleaning and integrity.

Plan Commission

13. A detailed site, lighting, fencing and four (4) copies of a landscaping plan (separate from building & site plans) shall be submitted to the Plan Director for review and approval. Such plan shall include:



**STAFF RECOMMENDATION** (cont'd)

Plan Commission (cont'd)

- a. Landscape screening along the western edge of the proposed new building to offer screening to the abutting residential district. **The twelve (12) proposed trees are acceptable in terms of quantity, but the type and species shall be clarified on a revised landscape plan for final approval.**
  - b. Top soil must be back filled to provide positive drainage of the landscaped area;
  - c. Landscaped areas may not contain bare soil, aggregated stone or decorative rock. Any ground area must be covered with hardwood mulch, grass or other vegetative ground coverage;
  - d. The location, number, height, diameter and species of any materials to be planted and maintained, as well as the location and number of any existing trees to be retained, trees, shrubs, and landscape materials shall meet the standards included in TMC 1108.0400 Landscape Materials Standards;
  - e. All landscape material must be properly maintained. No approved plant material shall be removed for any reason without being replaced with like kind, or without submitting a revised landscape plan to the Planning Director for review or approval;
  - f. Because the site is greater than ½ acre large, landscaped areas must be irrigated as necessary to maintain required plant materials in good and healthy condition. Irrigation plans must be submitted with development plans and must contain all construction details;
  - g. The location, height and materials for any fencing to be installed and maintained.
  - h. The location and direction of any proposed lighting shall be identified (lights are to be directed away from adjacent residential properties).
14. Elevations must adhere to TMC§1109.0500 *Building Façade Materials and Color*. **The proposed metal material will be 26-gauge minimum and is considered a predominant material and is acceptable, however, Staff requests that the proposed exposed fasteners be revised and kept to a minimum.**
15. The Special Use Permit may be reviewed for compliance with the conditions of approval, negative secondary effects, and adherence to all requirements of the Toledo Municipal Zoning Code. If outstanding issues are found and not addressed the Special Use Permit may be considered for revocation.

**STAFF RECOMMENDATION (cont'd)**

Plan Commission (cont'd)

16. Approval of the Special Use Permit will lapse after one (1) year if the criteria listed in **TMC§1111.0707** have not been met.
17. Minor adjustments to the site plan that do not violate the above conditions, or the Toledo Municipal Code, may be reviewed and approved by the Director of the Toledo City Plan Commission. Major adjustments will require an amendment to the Special Use Permit.
18. No permits shall be issued until arrangements satisfactory to the Director of the Toledo City Plan Commission have been made for compliance with the conditions as set forth above.

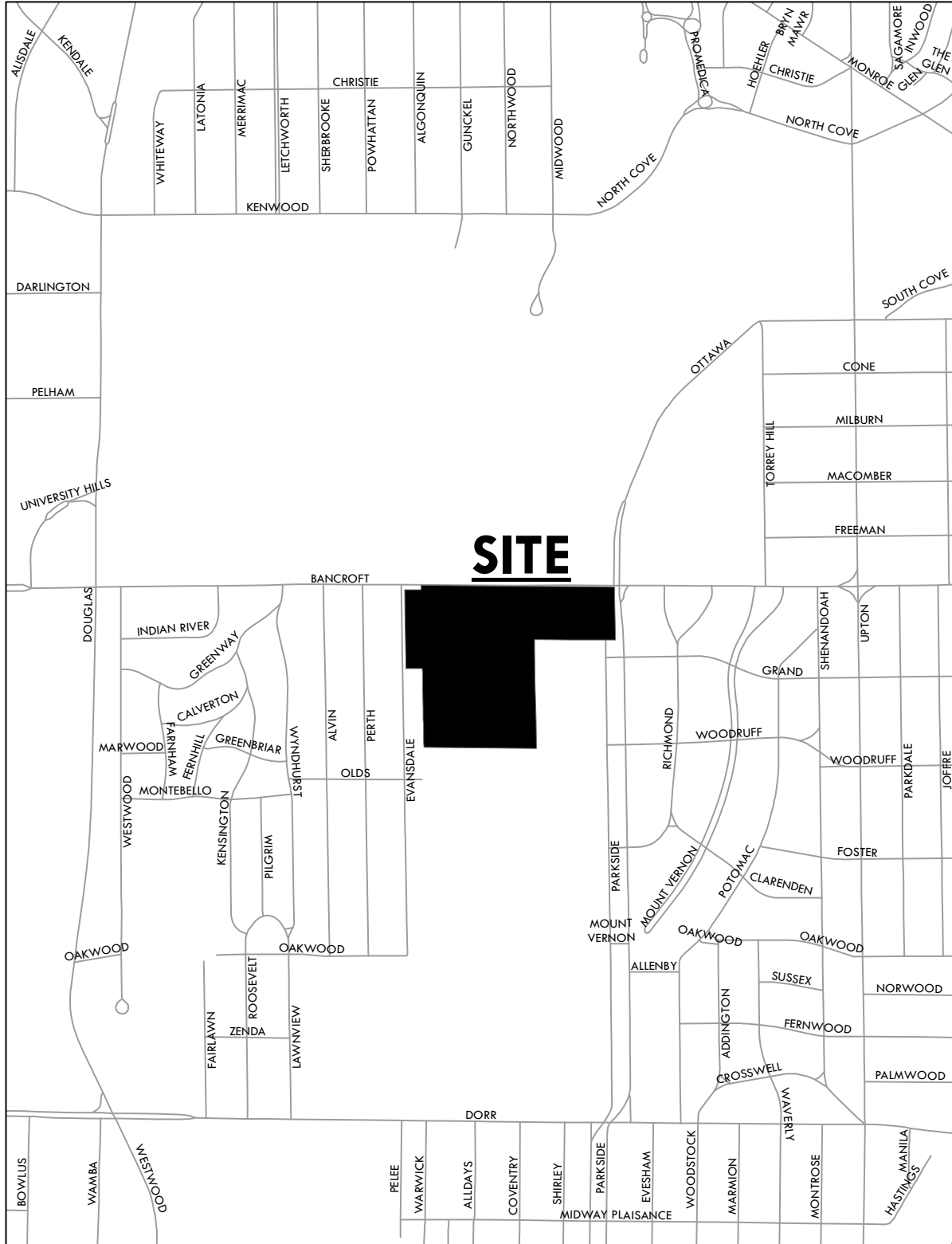
SPECIAL USE PERMIT  
TOLEDO PLAN COMMISSION  
REF: SUP24-00106  
DATE: DECEMBER 5, 2024  
TIME: 2:00 P.M.

TOLEDO CITY COUNCIL  
ZONING AND PLANNING COMMITTEE  
DATE: JANUARY 8, 2025  
TIME: 4:00 P.M.

MJM  
Five (5) Sketches Follow

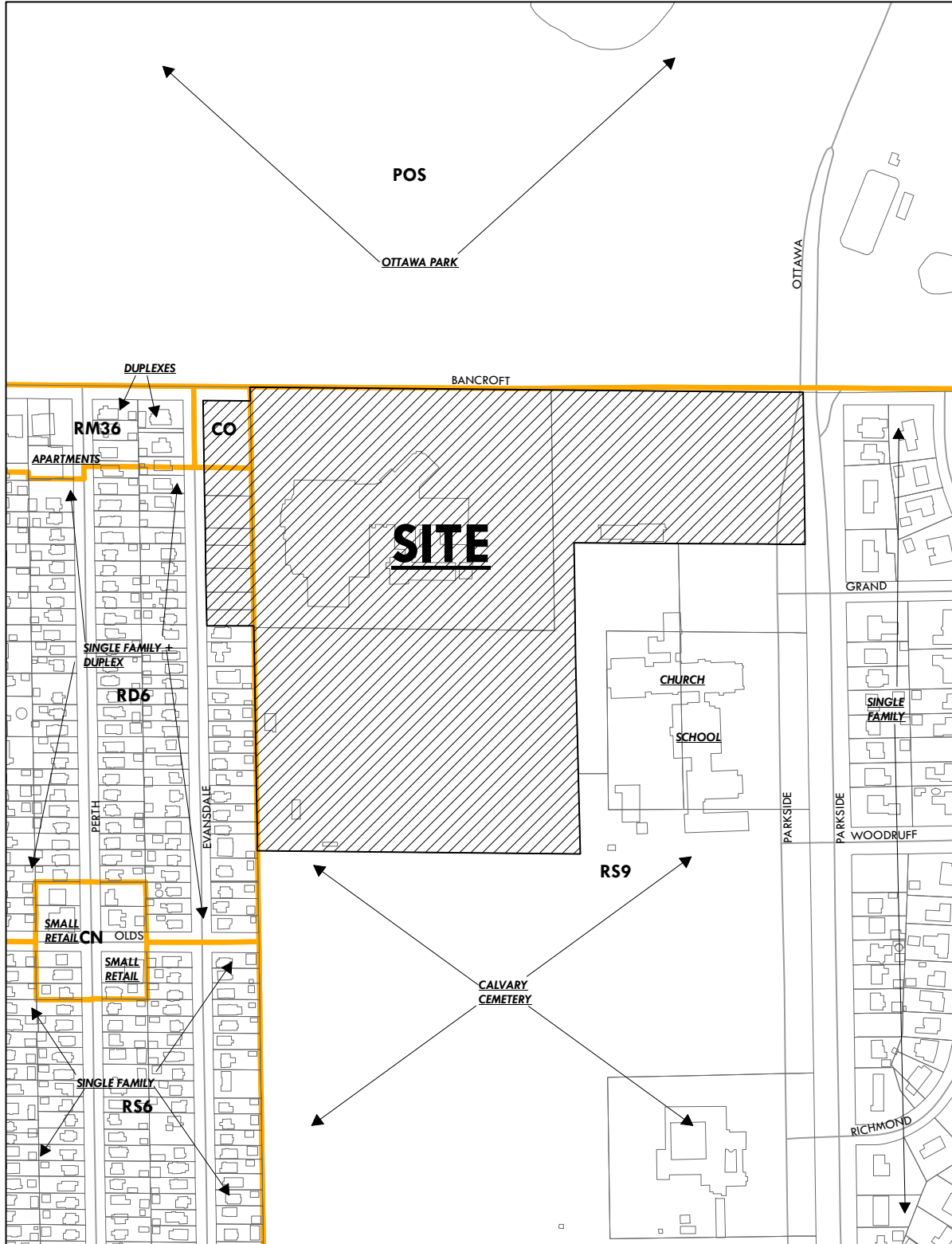
# GENERAL LOCATION

SUP24-00106  
ID 36



# ZONING & LAND USE

SUP24-00106  
ID 36

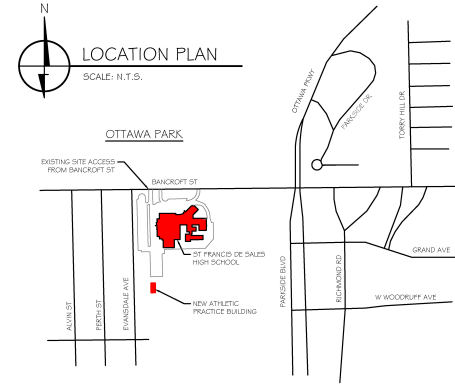
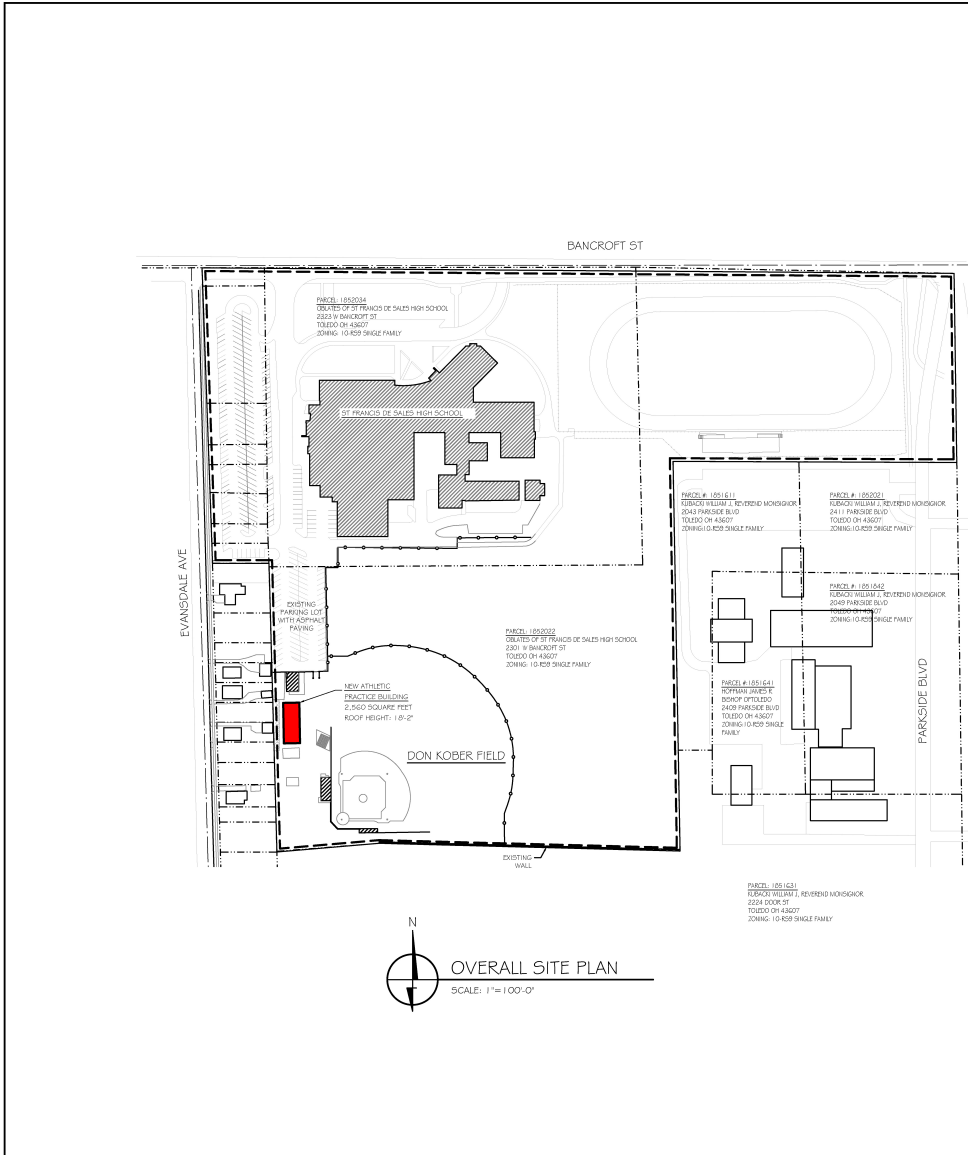


# CAMPUS OVERVIEW SITE PLAN

**SUP24-00106**  
ID 36



2-9



**GENERAL NOTES:**  
1. REFER TO SHEET T-100 FOR INFORMATION ON ADJACENT PARCELS ALONG EVANSDALE AVE, AND ADDITIONAL SITE INFORMATION.

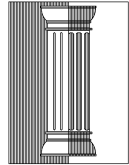
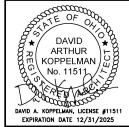
**ISSUED FOR:  
REVIEW  
11/13/2024**

**SITE PLAN LEGEND**

- NEW BUILDING ■
- EXISTING BUILDING ON SITE
- EXISTING BUILDING ADJACENT SITE
- SITE BOUNDARY
- PROPERTY LINE



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**ST FRANCIS DE SALES HIGH SCHOOL  
ATHLETIC PRACTICE BUILDING**  
2323 BANCROFT ST., TOLEDO, OHIO 43607

REVISION	DATE	BY	DESCRIPTION
	11/13/24		

DATE	SCALE
11-14-24	1" = 100'-0"

**OVERALL SITE PLAN**

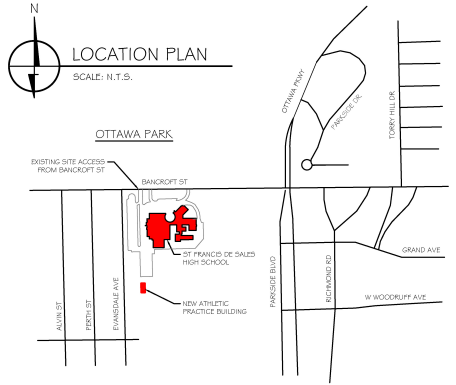
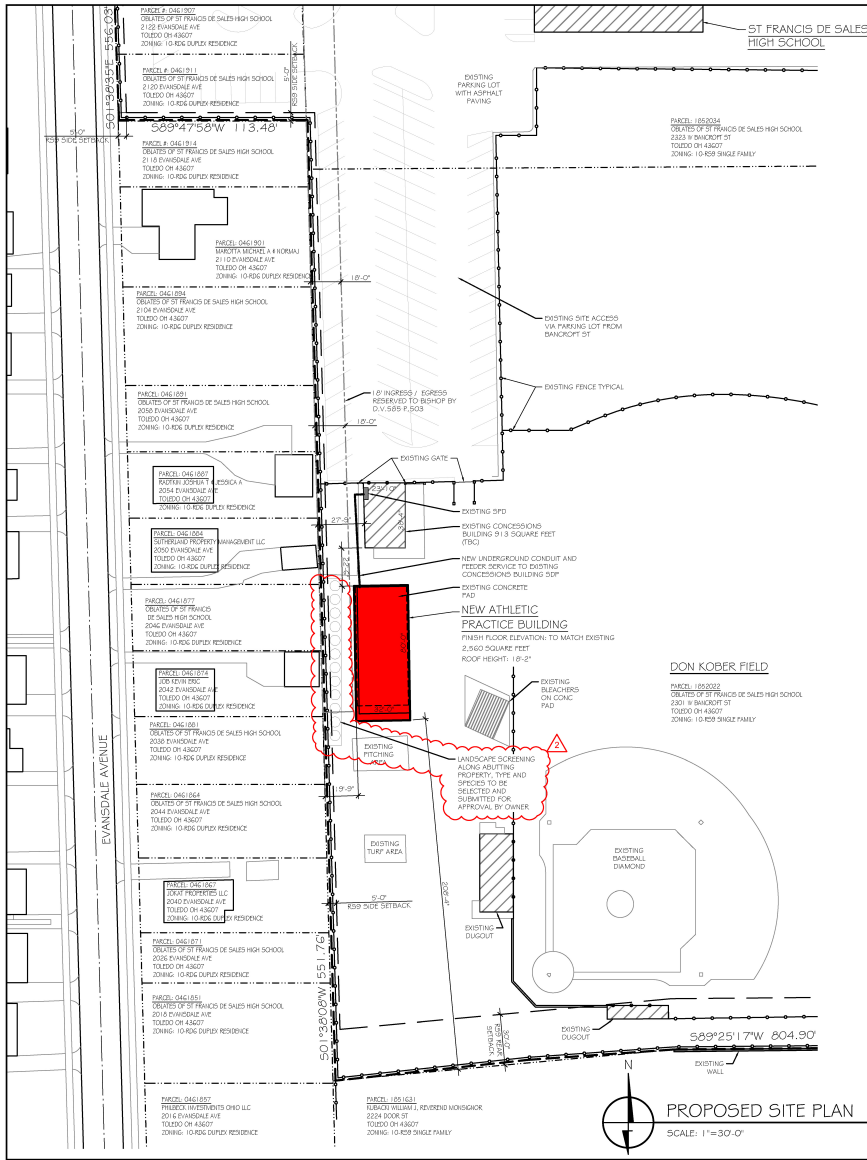
A101

# SITE PLAN

**SUP24-00106**  
ID 36



2 - 10



**PROJECT / OWNER:**  
ST FRANCIS DE SALES HIGH SCHOOL  
2323 BANCROFT ST  
TOLEDO, OHIO 43607  
PH: (419) 290-1435

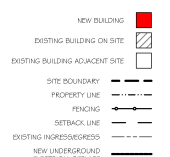
**CONTRACTOR:**  
EASTMAN / SCHWARTZ, LLC  
8827 WEST CENTRAL AVENUE  
SYLVANIA TOWNSHIP, OHIO 43560  
AMOS SCHWARTZ  
EMAIL: AMOS@ESBTOLEDO.COM  
PH: (419) 279-1462

**ARCHITECT:**  
ARCHITECTS FORUM MIDWEST, LLC  
2660 ECKEL ROAD, SUITE 1  
PERRYSBURG, OHIO 43561  
EMAIL: DAK@ARCHITECTSFORUMMW.COM  
PH: (419)-699-3190

**SPECIAL USE PERMIT NOTES:**

- ALL REQUIREMENTS FOR LANDSCAPING TO COMPLY WITH 1108 LANDSCAPING AND SCREENING IN THE CITY OF TOLEDO ZONING CODE.
- THIS PROJECT SCOPE OF WORK DOES NOT HAVE ANY PROVISIONS FOR ANY SITE LIGHTING, THEREFORE THE SITE REVIEW AND APPROVAL PROCESS BY THE CITY OF TOLEDO IS NOT REQUIRED AT THIS TIME.

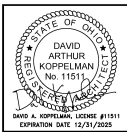
**SITE PLAN LEGEND**



**GRAPHIC SCALE**



ISSUED FOR:  
REVIEW  
11/13/2024



**ST FRANCIS DE SALES HIGH SCHOOL**  
**ATHLETIC PRACTICE BUILDING**  
2323 BANCROFT ST., TOLEDO, OHIO 43607

REVISION	DATE	BY	DESCRIPTION

**LIST OF DRAWINGS:**

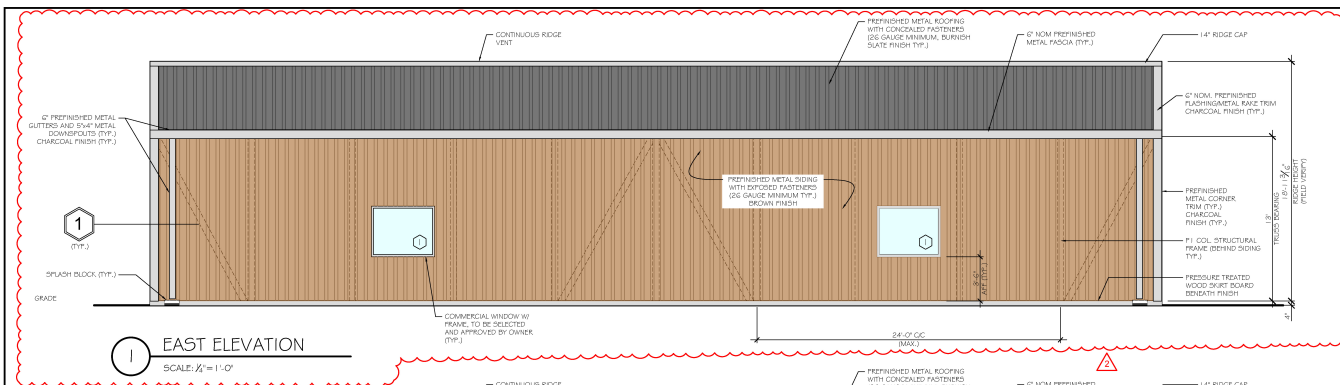
- T-100 COVER SHEET # SITE PLAN
- T-101 CODE INFO # LIFE SAFETY PLAN
- A-100 FOUNDATION # FLOOR PLANS
- A-200 EXTERIOR ELEVATIONS
- A-300 SECTIONS # DETAILS
- E-100 ELECTRICAL NOTES
- E-101 POWER # LIGHTING PLAN
- E-102 ELECTRICAL DETAILS # SPECS

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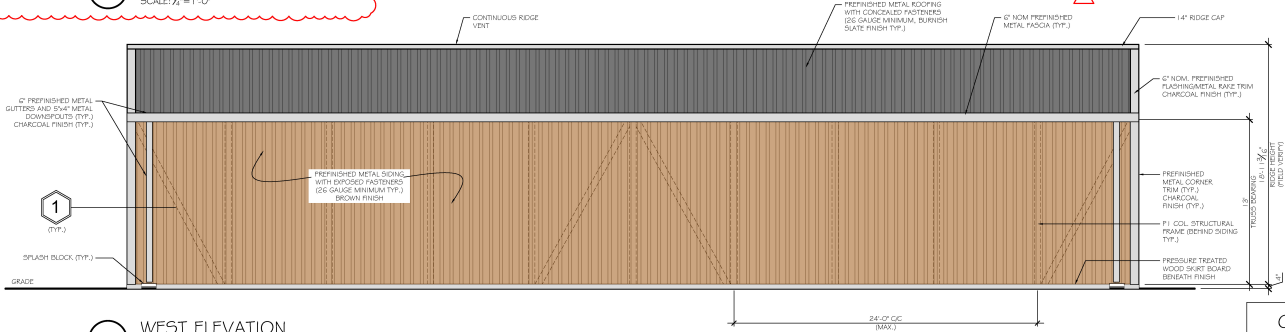
DRAWING TITLE: COVER SHEET & SITE PLAN  
DRAWING NO: T100

# ELEVATIONS

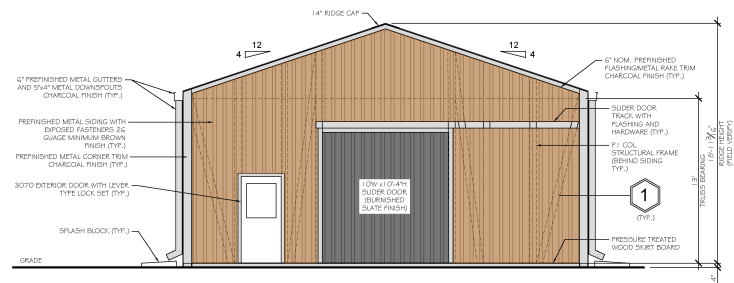
**SUP24-00106**  
ID 36



**1 EAST ELEVATION**  
SCALE: 1/4" = 1'-0"



**2 WEST ELEVATION**  
SCALE: 1/4" = 1'-0"



**3 SOUTH ELEVATION**  
SCALE: 1/4" = 1'-0"

NOTE: NORTH ELEVATION TYPICAL OPPOSITE HAND

PI	3 FLY 2x6 WALL/LAM - 3/8" #11 - COLUMNS/POSTS, V.N.C.
	2x6 HOLE DEPTH
	(2) 2x6 SHIRTBOARD TREATED
	(2) 2x6 TREATED SHIRT BOARDING

### CODED NOTE

- 2x6 DIAGONAL BRACES (AS SHOWN) HIDDEN/DASHED BEHIND SIDING
- INSTALL BRACES ON BACKSIDE OF WALL GIRTS ANCHOR TO COLUMN/BASE AT SKIRT BOARD TRANSITION
- EXTEND BRACES UP AND ANCHOR TO COLUMN AT HEADER TRANSITION (TYP.)

**ISSUED FOR:  
REVIEW  
11/13/2024**

### EXTERIOR FINISH KEY

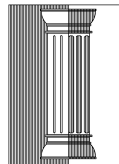
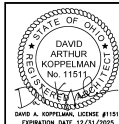
- GRABER POST BUILDINGS INC. CHARCOAL
- GRABER POST BUILDINGS INC. BURNISHED SLATE
- GRABER POST BUILDINGS INC. BROWN

### GENERAL NOTES

- CONTRACTOR TO VERIFY ALL DIMENSIONS & EXISTING SITE CONDITIONS PRIOR TO CONSTRUCTION
- REFER TO CALCULUS TAG NOTE WITH TABLE ON DRAWING TO IDENTIFY ALL STRUCTURAL POST & CORRESPONDING CONSTRUCTION INFORMATION
- DOOR & WINDOW SIZES ARE GIVEN IN INCHES BY WIDTH & HEIGHT RESPECTIVELY  
DOOR EXAMPLE: 2868 IS 2'-8" WIDE BY 6'-8"  
WINDOW EXAMPLE: 2480 IS 2'-4" WIDE BY 9'-0" TALL
- NO FINISHES: EXPOSED STRUCTURE FOR ROOF AND WALLS, SEALED CONCRETE (LEFT EXPOSED), ALTERNATE FINISH LINER PANELS
- IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY CLEARANCES OF THE ITEMS MENTIONED ABOVE PRIOR TO CONSTRUCTION
- REFER TO MANUFACTURERS SPECS FOR ROUGH OPENING DIMENSIONS FOR DOORS AND WINDOWS
- CONTRACTOR SHALL MAKE ALL NECESSARY MODIFICATIONS DURING CONSTRUCTION PROCESS TO COMPLY WITH 2024 OHIO BUILDING CODE (O.B.C.)
- COMPACTED FILL FLUSH WITH FLOOR SLAB AT ALL OPENINGS, SLOPE GRADE AWAY FROM BUILDING (TYP.)

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ATHLETIC PRACTICE BUILDING**  
2323 BANCROFT ST., TOLEDO, OHIO 43607

NO.	DATE	BY	DESCRIPTION
1	11/13/24	AK	ISSUED FOR REVIEW

REVISIONS	DATE	BY	DESCRIPTION
1	11/13/24	AK	ISSUED FOR REVIEW

DESIGNED BY	SCALE	DATE
CHECKED BY	DATE	DATE
APPROVED BY	DATE	DATE

DRAWING TITLE: **ELEVATIONS**  
DRAWING NO: **A200**