

GENERAL INFORMATION

Subject

Request	-	Major Site Plan Review for Site Modifications
Location	-	313 Morris Street
Applicant / Developer	-	Riverfront Ventures LLC 122 S. Wilson Street Drawer D Fremont, OH 43420
Architect	-	Architects Forum Midwest, LLC 3232 Central Park West Toledo, OH 43617

Site Description

Zoning	-	IG / General Industrial
Overlay District	-	Maumee Riverfront Overlay District
Area 1	-	± 0.65 Acres
Frontage 1	-	± 160' along Morris Street ± 160' along Ottawa Street
Area 2	-	± 1.3 Acres
Frontage 2	-	± 153' along Morris Street ± 398' along Wade Street ± 159' along Williams Street
Existing Use	-	Vacant industrial building and parking
Proposed Use	-	Offices, equipment/vehicle storage and parking

Area Description

North	-	Anthony Wayne Bridge, industrial distributor, coffee shop, warehouse venue, Maumee Bay Brew Pub / IL & CD
South	-	Great Lakes Terminal Warehouse, artist studios, Ottawa Street, Norfolk Southern railyard / IG
East	-	Middlegrounds Dog Park, Middlegrounds Metropark and the Maumee River / POS
West	-	Morris Street, parking lot, Wade Street, fiberglass manufacturer and restaurant / IG, IL, RS6, & CM

GENERAL INFORMATION (cont'd)Parcel History

M-25-66	-	General Neighborhood Renewal Plan for study and recommendation (PC rec. approval 10/13/1966; CC approved 11/30/1966, Ord. 920-66).
M-9-69	-	Study for Toledo Central City Neighborhood Renewal Plan (PC rec. approval 9/4/1969; CC approved 6/30/82, Ord. 708-82).
M-2-15	-	Review of the 2015 Middle Grounds District Plan as an amendment to the Toledo 20/20 Comprehensive Plan (PC rec. approval 11/5/2015; CC approved 12/22/2015, Ord. 598-15).

Applicable Plans and Regulations

- Toledo Municipal Code Part Eleven: Planning and Zoning
- Forward Toledo Comprehensive Land Use Plan
- Middle Grounds District Plan
- Maumee Riverfront Plan

STAFF ANALYSIS

The Applicant is requesting a Major Site Plan Review for site improvements at 313 Morris Street. The property consists of \pm 1.95 acres and is located south of the Anthony Wayne Bridge between Wade Street and Ottawa Street. A vacant industrial building, that once housed the Ohio Plate Glass Company, and a stone parking/loading area is situated on the lot on the east side of Morris Street. A concrete and stone parking area is located on the lot on the west Side of Morris Street. Surrounding land uses include a warehouse, coffee shop, event space and a restaurant/brewing company to the north across the Anthony Wayne Bridge; the Middlegrounds Dog Park, the Middlegrounds Metropark and the Maumee River to the east across Ottawa Street; a warehouse, Ottawa Street and railyard to the south; and Wade Street and a restaurant to the west.

The Applicant is requesting the Major Site Plan Review to allow for the existing building to be rehabilitated and utilized as corporate office space for one business; and offices, material and vehicle storage, and light fabrication for another business. The finished building will consist of three renovated floors totally approximately 47,000 square feet. The lower lever area, that will be accessed from the rear of the building, will consist of a parking area, truck service bay, tool and general storage area and a light fabrication area. The main level floor will consist of a lobby and waiting area, offices, conference rooms, training room, exercise room and lockers. The upper level floor will consist of offices and conference rooms. In addition to the building renovation, the parking area to the west of Morris Street will be improved for parking for the proposed development. The northern portion of the parking area will serve as automobile parking and the southern portion will be utilized in the future for truck parking.

STAFF ANALYSIS (cont'd)

In addition to the Major Site Plan Review, a zone change request from IG to IL and a Maumee Riverfront Overlay District Review for the proposed site modifications are required. These reviews are being completed in companion cases Z25-0016 and MRO-4-25. The zone change request must be approved to allow for the proposed office use. Approval of Z25-0006 and MRO-4-25 are listed as conditions of approval.

Parking and Circulation

The majority of the off-street parking for the redevelopment of the building at 313 Morris Street will be provided in the existing parking lot to the west of the building across Morris Street. This parking area currently has a paved parking surface consisting of concrete. Future truck parking will be provided to the south of the noted automobile parking area. This area currently consists of stone and grass. TMC§1107.1906 requires that off-street parking be surfaced with a dust-free material and graded to drain surface water to a stormwater system subject to the regulations and approval of Engineering Services. While the area is noted as future parking and parking layout information is not provided; should the area be required to be factored into stormwater management for the site, the site plan shall be revised to show the layout and proposed surface for the truck parking area. If this is not required at this time, a Minor Site Plan Review shall be submitted at such time it will be utilized for truck parking. These are listed as conditions of approval. Off-street loading is provided in the back of the existing building with access from Ottawa Street.

Per the Off-Street Parking Schedule C in TMC§1107.0304, office uses are required to provide one (1) parking space per 300 square feet of building area, requiring 159 parking spaces for the proposed development. There are thirty-five (35) parking spaces depicted on the site plan in parking lot on the west side of Morris Street and an additional six (6) spaces depicted on the floor plan for the lower level of the building. TMC§1107.0102(C) does allow for a reduction in the amount of off-street parking spaces required since the proposed use of the building is different than is once was; however, the required minimum parking is still not met. As such, an alternative access and parking plan shall be submitted to the Planning Director for review as a condition of approval. Staff is supportive of working with applicant to determine adequate parking needed for the development.

Accessible parking spaces are required to be provided based on the number of parking spaces required. The site plan depicts four (4) car accessible parking spaces. Since an alternative access and parking plan is required to determine the amount of off-street parking spaces required; accessible parking compliance cannot be determined at this time. The required number of accessible parking spaces shall be determined and provided based on the approved alternative access and parking plan as a condition of approval.

In addition to the minimum number of off-street parking and accessible parking spaces, bicycle parking slots are also required per the Off-Street Parking Schedule in TMC§1107.0304. One (1) bicycle parking slot is required per ten (10) parking spaces for office uses. Ten (10) bicycle parking slots are depicted on the landscape plan. While the landscape plan depicts a bicycle rack for ten (10) bicycles to the south of the main entrance, it is unclear how the rack will be accessed and if parked bicycles will encroach into the existing sidewalk. The required number of bicycle parking spaces shall

STAFF ANALYSIS (cont'd)

be determined and provided based on the approved alternative access and parking plan and additional information shall be submitted concerning the proposed bicycle rack as a condition of approval.

Landscaping and Screening

Based on the location and the current development of the site, the Plan Director has determined that the proposed redevelopment is subject to the Urban Commercial Landscape Standards in TMC§1108.0300. Essentially these standards require that any part of a lot area not used for buildings, other structures, roads, walks, parking, service areas or accessways must be landscaped with a combination of groundcover, trees and shrubs. Additionally, landscape improvements must be provided in the sidewalk per TMC§1108.0303(B). One (1) shrub or understory tree must be provided for every thirty feet (30') of frontage. The submitted landscape plan complies with these requirements.

Parking lot landscaping is required in the Urban Commercial Landscape Standards. Perimeter landscaping must be installed along any parking lot area adjacent to a street, place, or driveway. Three different options may be utilized to meet the perimeter landscaping requirement. The existing automobile parking area is unique in that it is graded with a concrete retaining wall along the boundaries of the parking area. The parking lot is at grade at the intersection of Morris Street and Wade Street. The parking lot and retaining wall increase in height as you continue either south along Morris Street or west along Wade Street. Concrete construction barriers are situated along the edge of the parking lot where the retaining wall is not at grade to effectively keep cars from driving off the edge. The landscape plan illustrates landscaping in what appears to be the street right-of-way. Landscaping shall be provided in the area between the retaining wall and the sidewalk within the subject property lines. In addition, the existing concrete construction barriers shall be removed and a solid fence or wall be constructed in accordance with TMC§1108.0305. Landscaping is particularly important at the intersection of Morris and Wade Streets as it serves as a prominent and highly visible entrance into the area from the north. These are listed as conditions of approval. Landscaping and screening is not being reviewed at this time for the area marked as future truck parking.

A six-foot (6') tall wrought iron fence with brick piers and landscaping in front is proposed along the Ottawa Street in the back of the property. As illustrated on the landscape plan it appears that the landscaping and possibly the fence is within the right-of-way. Since the property is across the street from the entrance to the Middlegrounds Metropark and directly across from the Middlegrounds Dog Park, it is important that this landscaping and screening not only be aesthetically pleasing but also visually shield any outdoor storage or outdoor use of the subject property. Additional information on the location and visibility shall be submitted to determine compliance with screening and setback requirements as a condition of approval.

Building Design and Materials

With the exception of the removal of an addition on the back of the building, the existing structure of the building will remain. Where the addition is removed in the back of the building, a loading area with overhead doors will be constructed along the original façade of the building. The

STAFF ANALYSIS (cont'd)

proposed materials to be used are consistent with existing building materials. Façade improvements will also be made to the front of the building including removal of existing entry doors and overhead doors, construction of a new ramp and stairs to new entry doors with an overhead canopy, and replacement of the original windows on the south end of the building to match those on the north end of the building. The proposed improvements meet the building façade material and color standards in TMC§1109.0500.

Signage

The submitted elevations depict signs above the roofline on the existing building with a notation that the final design is to be determined. Building signs may not extend above the height of the building per TMC§1108.0304(B). The location of the depicted signs are therefore not permitted. All proposed signage must meet the regulations in Chapter 1113 - Signs. Additionally, a sign permit shall be obtained for any proposed signage on site. These are listed as conditions of approval.

Maumee Riverfront Plan

The Maumee Riverfront Plan was developed in response to an increasing public awareness of the Maumee Riverfront and the possibilities of redevelopment of large sections of the riverfront. The Maumee Riverfront Plan recommends the arrangement of land uses into three segments along the River and establishes a review for any redevelopment. The subject property is located in the section known as the “Port Segment”. The Port Segment not only includes the downtown riverfront, but also most of the maritime shipping facilities and has the most complex urban character of the three segments. The majority of land in this segment is industrially zoned. The Plan indicates that truck access should be provided and the area should be developed for water-oriented industrial uses. Although the proposed use is not specifically a water-oriented industrial use, the subject property does not have direct water access, and the property will maintain its industrial zoning. Additionally, the proposed office use is consistent with existing surrounding uses and establishes a compatible use with the adjacent Middlegrounds Dog Park and Metropark to the east. The proposed development therefore supports the Maumee Riverfront Plan.

Forward Toledo Comprehensive Land Use Plan

The Forward Toledo Comprehensive Land Use Plan designates the subject property as Neighborhood Mixed-Use. The Neighborhood Mixed-Use land use designation is intended to preserve and promote pedestrian-oriented commercial and mixed-use areas. These areas are the core component of neighborhoods and provide the highest density of commercial and housing opportunities. Offices and minimally obtrusive industrial uses are noted land uses for this designation. The proposed use would therefore be consistent with the Plan and the surrounding adjacent uses. The proposed use also supports the goal of Building Preservation under the Build theme through the reuse and renovation of an existing vacant building.

STAFF ANALYSIS (cont'd)

Staff recommends approval of the Major Site Plan Review for a Site Modifications at 313 Morris Street as it is consistent with the Forward Toledo Plan and the Maumee Riverfront Plan. Additionally approval is recommended, as the proposed site modifications will activate a vacant building and improve the general surrounding area.

STAFF RECOMMENDATION

The staff recommends that the Toledo City Plan Commission **approve** SPR25-0022, a Major Site Plan Review for Site Modifications at 313 Morris Street for the following **two (2) reasons**:

1. The site modifications are consistent with the Forward Toledo Comprehensive Land Use Plan and the Maumee Riverfront Plan (TMC§1111.0809(A)); and
2. The site modifications will activate a vacant building and improve the general surrounding area.

The staff further recommends that the Toledo City Plan Commission approve SPR25-0022, a Major Site Plan Review for Site Modifications at 313 Morris Street, subject to the following **forty (40) conditions**:

The following conditions are listed by agency of origin. Applicants are encouraged to contact each of the agencies to address compliance with their conditions.

Division of Engineering Services

1. All **proposed** sidewalk, drive approaches, curb, and pedestrian curb ramps within the public right-of-way shall be constructed in accordance with the City of Toledo Construction Standards, Specifications, Toledo Municipal Code, and Americans with Disabilities Act guidelines.
2. All **proposed** commercial drive approaches, (along with the sidewalk through the drive) shall be constructed with 8" thick concrete per City of Toledo Construction Standards and Specifications. No curb shall be permitted in the right-of-way along either side of a drive approach. No horizontal curb cutting will be permitted to create a curb drop/opening. Existing drive approaches, including the curb drop, that will no longer be utilized shall be removed and restored with curb to match the adjacent curb.
3. Required permits for all approved work in the public right-of-way shall be obtained, before work begins, from Ted Rousos, 419-245-1347. The application can be obtained online at Toledo.oh.gov search: Right of Way opening permit.
4. The City of Toledo public water system does not appear to be impacted by this project. Refer to comments provided by the Division of Water Distribution regarding private water mains and/or service lines.

STAFF RECOMMENDATION (cont'd)
Division of Engineering Services (cont'd)

5. The site plan should be revised to include a proposal for stormwater management, proportional to the amount of new development. Pavement of existing stone surfaces along Morris is development greater than 2,500 square feet for which new stormwater management infrastructure is required on site. Stone surfaces which existed since 2004 do not require new stormwater management if approved for a gravel waiver by the Board of Zoning Appeals (BZA).
6. Earthwork greater than 2,500 square feet requires submittal and approval of a stormwater pollution prevention plan.
7. New structures shall not inhibit access to existing sewers in the area. Sanitary sewer not shown on drawing or picked up in survey.

Sewer & Drainage Services

Comments not received at time of print.

Division of Environmental Services

8. Applicant shall maintain compliance with the City of Toledo's Storm Water regulations as specified in the Toledo Municipal Code. Special attention must be paid to all potential storm water impacts from the modification of the site, including but not limited to long-term operation and maintenance of existing structural and non-structural Best Management Practices.
 - a. Notification shall be made to the Division of Environmental Services (419-936-3015) no later than three days prior to commencement of construction activities.
 - b. Construction BMPs shall be in place prior to the start of construction activities.
 - c. SWP3 inspection reports shall be kept on site with the SWP3 and readily accessible during normal working hours. (this comment specific for sites above 2,500 square feet)
9. Applicant shall maintain compliance with Ohio EPA's General Storm Water NPDES permit programs.
10. Applicant is strongly encouraged to install permanent inlet filters with oil absorbent pillow in parking lot catch basins to treat stormwater.
11. Applicant is strongly encouraged to include multiple green infra-structure measures to minimize runoff and increase infiltration, and to minimize the amount of new and/or additional impervious surface on the site.

STAFF RECOMMENDATION (cont'd)
Division of Environmental Services (cont'd)

12. Applicant is strongly encouraged to plant native, low maintenance and non-invasive trees, shrubs and perennials. Information is at <https://ohiodnr.gov/wps/portal/gov/odnr/discover-and-learn/plants-trees/invasive-plants>; a list of invasive plants and alternative species can be downloaded from https://www.oipc.info/uploads/5/8/6/5/58652481/alternatives_to_ohio_invasive_plant_species.pdf
13. Applicant shall maintain compliance with the City of Toledo and the State of Ohio's Air Quality Regulations applicable in the Toledo Municipal Code and the Ohio Administrative Code including, but not limited to the Asbestos and the Anti-Noise Laws.

Fire Prevention Bureau

14. It appears these buildings will undergo at least a partial change of use. This will require compliance with all applicable Building, Fire, Electrical, Mechanical and Plumbing code requirements. (OBC 105.0 & 101.4)
15. Alterations to the fire sprinkler and fire alarm system to be submitted for FD review. There are current open violations for a non-working fire alarm system in this building. (OFC 901.2 & 901.4)
16. Building construction plans to be submitted to the FD for review in addition to the Building Inspection Department plan submittal. (OFC 104.2 & OBC 107.4.5)
17. A radio signal strength test will be needed in the building, and possible radio signal enhancements based on the results of the test. (OFC 510.2 & 1103.2 - for existing buildings)
18. New and existing buildings shall be provided with approved address identification that meets Building & Fire Code requirements. (This includes rear doors) (OBC 501.2 & OFC 505.1)
19. Fire Department to be notified and present for all fire systems acceptance testing. (OFC 901.5)
20. A fire safety inspection is required prior to occupancy. (OFC 105.3.3.2 & TMC 1309.09)

Division of Transportation

21. Bicycle parking is required per TMC§1107.0900.
22. All off-street parking, loading spaces, parking lots, maneuvering areas, drive aisles and driveways must be surfaced with concrete, asphalt or other dust free material other than gravel or loose fill per TMC§1107.1906.

STAFF RECOMMENDATION (cont'd)
Division of Transportation (cont'd)

23. All driveways, drive aisle and parking spaces must be clearly dimensioned per TMC§ 1107.1911.
24. Driveways, approaches and curb cuts not being utilized along Wade Street and Morris Street must be removed and new grass and curb must be installed to match adjacent areas.
25. All parking spots and fence lines must be outside of the right-of-way and clearly shown and verified on the drawings. (The right-of-way line is required to be clearly shown on drawings.)
26. Handicap ramp on Morris Street can not lead to a drive approach.
27. Sidewalk shall be extended along property on Ottawa Street.
28. One 35' curb cut shall be allowed along Ottawa Street.

Plan Commission

29. Approval of companion case Z25-0016, Zone Change request from IG to IL at 313 Morris Street.
30. Approval of companion case M-4-25, Maumee Riverfront Overlay review of Site Modificaitons at 313 Morris Street.
31. Off- street parking and loading spaces, parking lots, maneuvering aisles and driveways must be surfaced with concrete, bituminous asphalt, or other dust-free material other than gravel or loose fill, and be graded to drain all surface water towards the interior of the parking lot per TMC§1107.1906.
32. Parking layout and surfacing information is not provided for the area noted as future truck parking. Should the area be required to be factored into stormwater management for the site, the site plan shall be revised to show the layout and proposed surface for the truck parking area. If not required at this time, the area shall be submitted for a Minor Site Plan review at such time it will be utilized for truck parking.
33. The proposed forty-one (41) off-street parking spaces do not meet the minimum 159 required off-street parking spaces in the Off-Street Parking Schedule C in TMC§1107.0304 for office uses; therefore an alternative access and parking plan shall be submitted to the Planning Director for review and approval. A revised site plan shall be submitted to the Planning Director depicting the required number of parking spaces based on the alternative access and parking plan.
34. Accessible parking spaces are required to be provided based on the number of parking spaces provided per TMC§1107.1701. The required number of accessible parking spaces shall be determined and provided based on the approved alternative access and parking plan. A revised site plan shall be submitted to the Planning Director depicting the accessible spaces.

STAFF RECOMMENDATION (cont'd)
Plan Commission (cont'd)

35. One (1) bicycle parking slot shall be provided per ten (10) parking spaces pursuant to Off-Street Parking Schedule “A,” (TMC§1107.0300) for office uses. Ten (10) bicycle parking slots are depicted on the landscape plan south of the main entrance. The required number of bicycle parking spaces shall be determined and provided based on the approved alternative access and parking plan and additional information shall be submitted concerning the proposed bicycle rack to determine possible conflict with the adjacent sidewalk.
36. A detailed site, lighting, fencing and four (4) copies of a landscaping plan (separate from building & site plans) shall be submitted to the Plan Director for review and approval. Such plan shall include:
 - a. Parking lot landscaping is required per the Urban Commercial Landscape Standards of TMC§1108.0300. Perimeter landscaping must be installed along any parking lot area adjacent to a street, place, or driveway. The following must be provided to comply with this requirement for the proposed automobile parking area to the west of Morris Street:
 1. Landscaping shall be provided in the area between the retaining wall and the sidewalk within the subject property lines; and
 2. The existing concrete construction barriers shall be removed and a solid fence or wall be constructed in accordance with TMC§1108.0305.
 - b. As illustrated on the landscape plan, it appears that the six-foot (6') tall wrought iron fence with brick piers and landscaping in front proposed along the Ottawa Street is within the right-of-way. Additional information on the location and outdoor storage or outdoor use of the subject property in the back of the building shall be submitted to determine compliance with screening and setback requirements.
 - c. Topsoil must be back filled to provide positive drainage of the landscape area.
 - d. Landscaped areas may not contain bare soil, aggregated stone or decorative rock. Any ground area must be covered with hardwood mulch, grass or other vegetative ground coverage.
 - e. The location, number, height, diameter and species of any materials to be planted and maintained, as well as the location and number of any existing trees to be retained, trees, shrubs, and landscape materials shall meet the standards included in TMC 1108.0400 Landscape Materials Standards.
 - f. Landscaped areas must be irrigated as necessary to maintain required plant materials in good and healthy condition per TMC§1108.0406.

STAFF RECOMMENDATION (cont'd)
Plan Commission (cont'd)

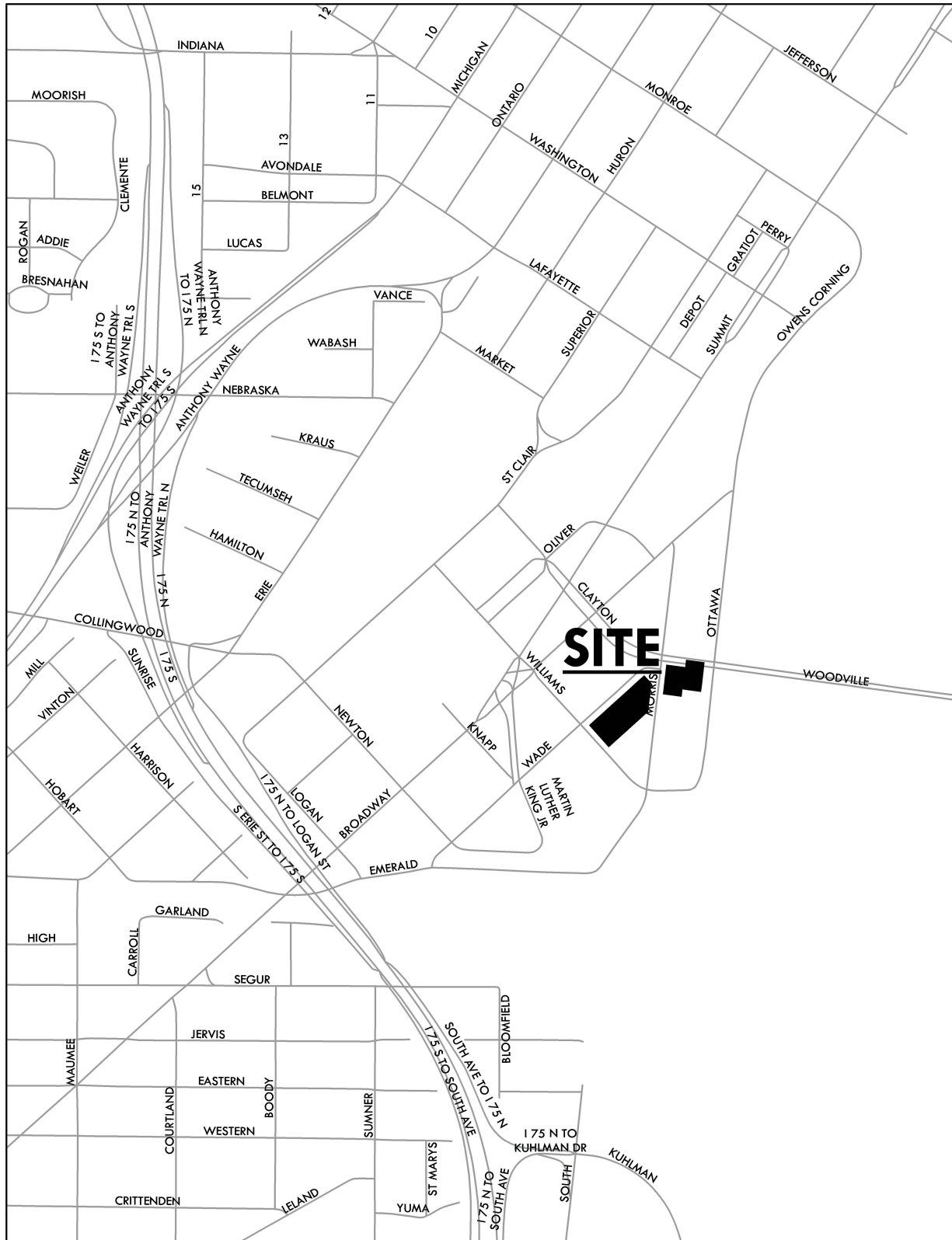
- g. Lights and light fixtures used to illuminate any parking area must be selected and arranged to direct and reflect the light away from any adjacent residential property and public ways and away from the sky above the light fixture per TMC§1107.1908.
 - h. The location, lighting, and size of any signs.
 - i. Landscaping shall be installed and maintained indefinitely.
37. All proposed signage for the site shall be meet the requirements of TMC§1113.000. A sign permit shall be submitted and approved for all signage.
38. Minor adjustments to the Site Plan that do not violate the above conditions, or the Toledo Municipal Code, may be reviewed and approved by the Director of the Toledo City Plan Commission.
39. Per TMC§1111.0814, if a building permit is not issued within two (2) years of this approval date then the site plan approval shall become null and void.
40. No permits shall be issued until arrangements satisfactory to the Director of the City of Toledo Plan Commission have been made for compliance with the conditions as set forth above.

MAJOR SITE PLAN
TOLEDO CITY PLAN COMMISSION
REF: SPR25-0022
DATE: July 3, 2025
TIME: 2:00 P.M.

LK
Six (6) sketches follow

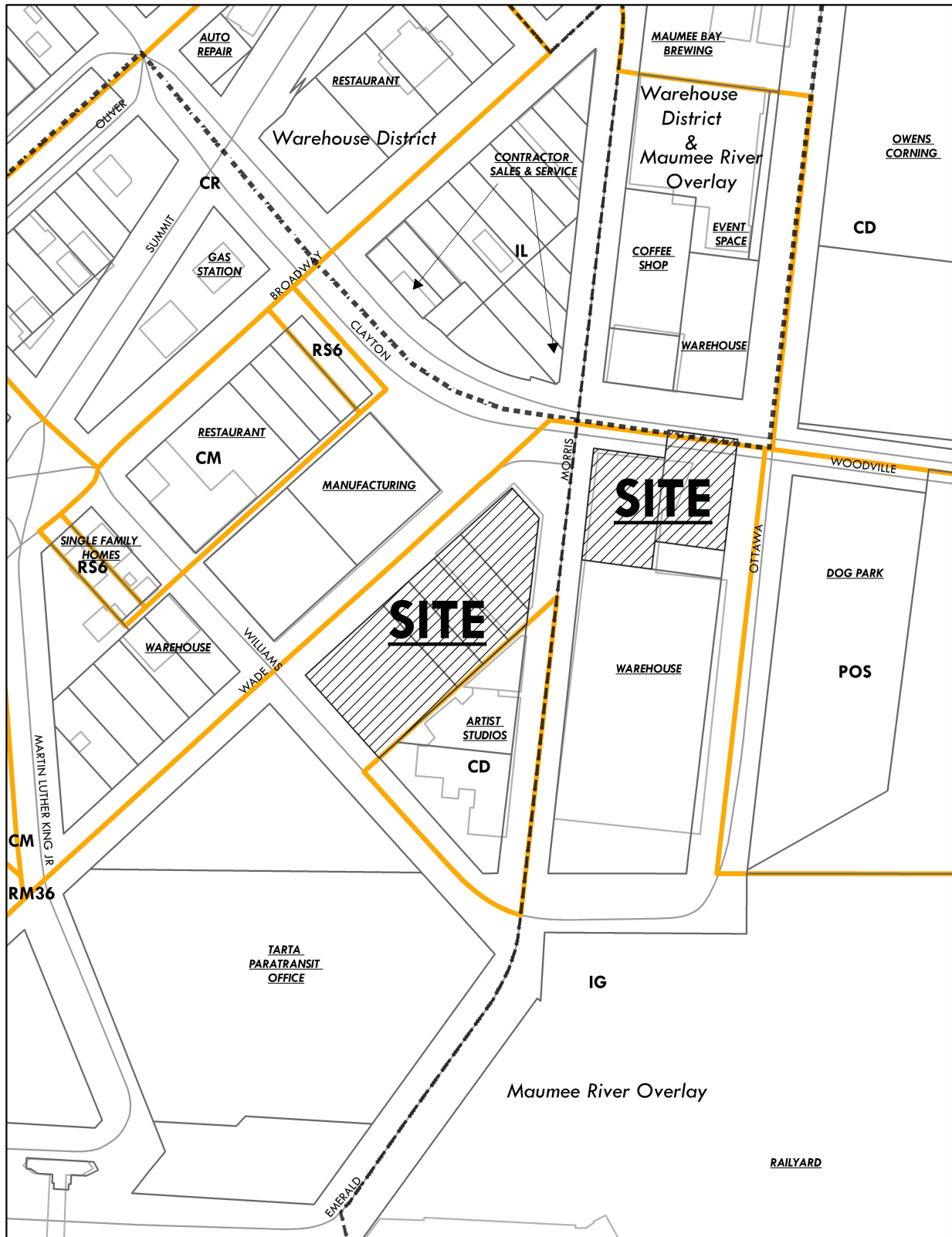
GENERAL LOCATION

SPR25-0022



ZONING & LAND USE

SPR25-0022

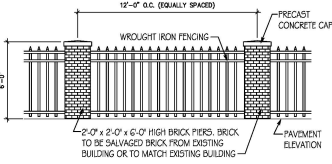
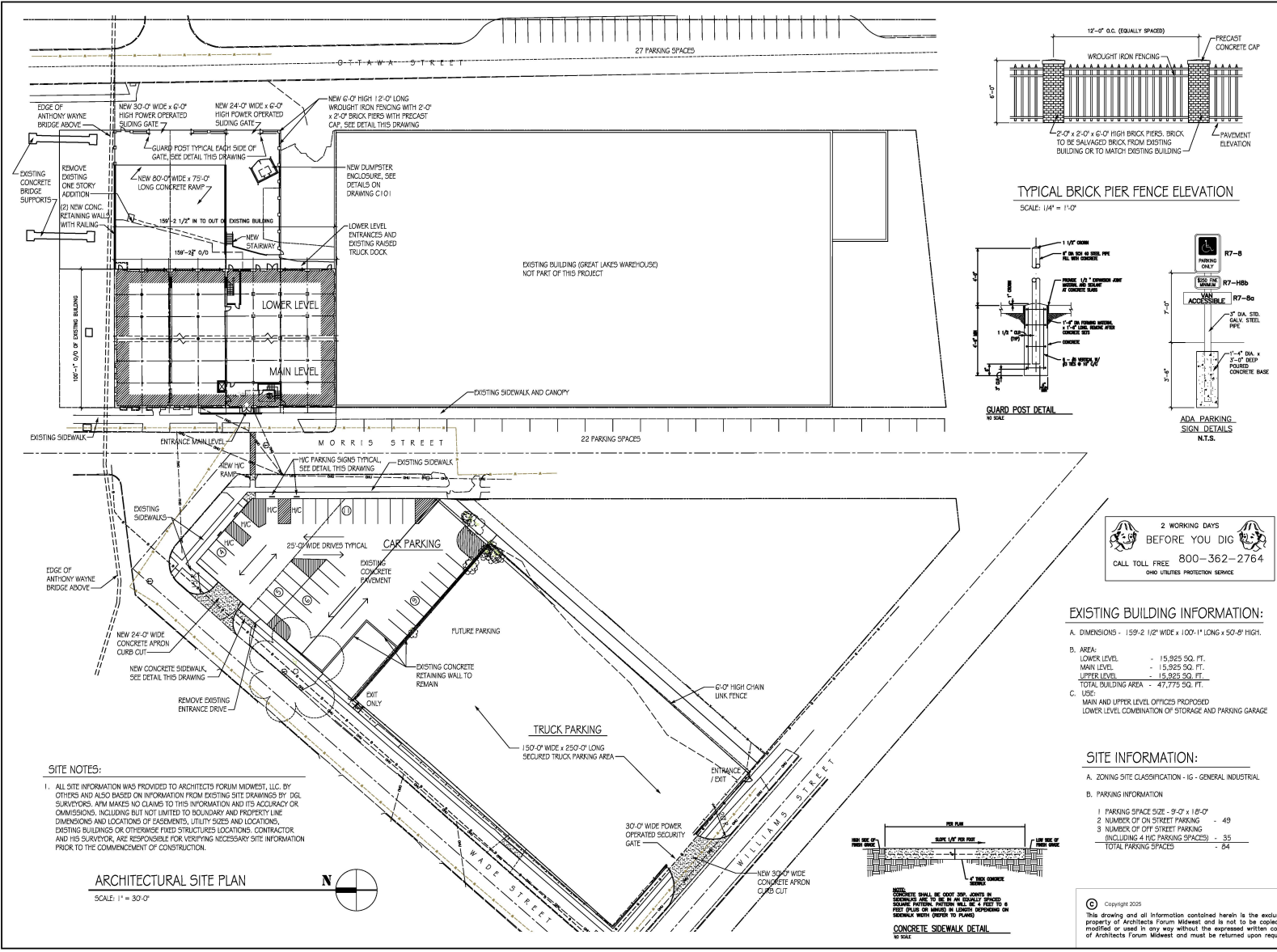


SITE PLAN

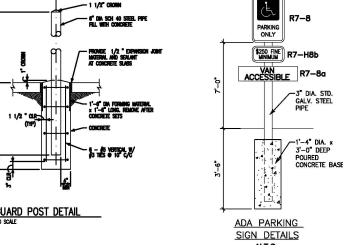
SPR25-0022



S - 14



TYPICAL BRICK PIER FENCE ELEVATION



2 WORKING DAYS
BEFORE YOU DIG
CALL TOLL FREE 800-362-2764
OHIO UTILITIES PROTECTION SERVICE

EXISTING BUILDING INFORMATION:

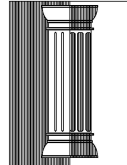
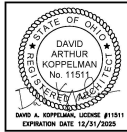
- A. DIMENSIONS - 159'-2 1/2" WIDE x 100'-1" LONG x 50'-0" HIGH.
- B. AREA:
 - LOWER LEVEL - 15,925 SQ. FT.
 - MAIN LEVEL - 15,925 SQ. FT.
 - UPPER LEVEL - 15,925 SQ. FT.
 - TOTAL BUILDING AREA - 47,775 SQ. FT.
- C. USE:
 - MAIN AND UPPER LEVEL OFFICES PROPOSED
 - LOWER LEVEL COMBINATION OF STORAGE AND PARKING GARAGE

SITE INFORMATION:

- A. ZONING SITE CLASSIFICATION - IG - GENERAL INDUSTRIAL
- B. PARKING INFORMATION:
 - 1. PARKING SPACE SIZE - 9'-0" x 18'-0"
 - 2. NUMBER OF ON STREET PARKING - 49
 - 3. NUMBER OF OFF STREET PARKING (INCLUDING 4 HIC PARKING SPACES) - 35
 - TOTAL PARKING SPACES - 84

SITE NOTES:
1. ALL SITE INFORMATION WAS PROVIDED TO ARCHITECTS FORUM MIDWEST, LLC, BY OTHERS AND ALSO BASED ON INFORMATION FROM EXISTING SITE DRAWINGS BY DGL SURVEYORS. AFM MAKES NO CLAIMS TO THIS INFORMATION AND ITS ACCURACY OR COMPLETENESS, INCLUDING BUT NOT LIMITED TO BOUNDARY AND PROPERTY LINE DIMENSIONS AND LOCATIONS OF EASEMENTS, UTILITY SIZES AND LOCATIONS. EXISTING BUILDINGS OR OTHERWISE FIXED STRUCTURES LOCATIONS. CONTRACTOR AND HIS SURVEYOR, ARE RESPONSIBLE FOR VERIFYING NECESSARY SITE INFORMATION PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.

ARCHITECTURAL SITE PLAN
SCALE: 1" = 30'-0"



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Toledo, Ohio 43617
Ph: 419-298-3190
E-mail: info@architectsforummidwest.com

RIVERFRONT DEVELOPMENT L.L.C.
303, 305 & 307 MORRIS STREET,
TOLEDO, OHIO

REVISIONS	DATE	BY	DESCRIPTION
1	5-14-25	AFM	ISSUED FOR PERMITS REVIEW

DESIGNED BY	DATE	FILE NAME
APPROVED BY	DATE	SCALE
PROJECT NO.	DATE	2-7-25
DRAWING TITLE	DATE	2-7-25
ARCHITECTURAL SITE PLAN	DATE	2-7-25
DRAWING NO.	DATE	2-7-25
C100	DATE	2-7-25

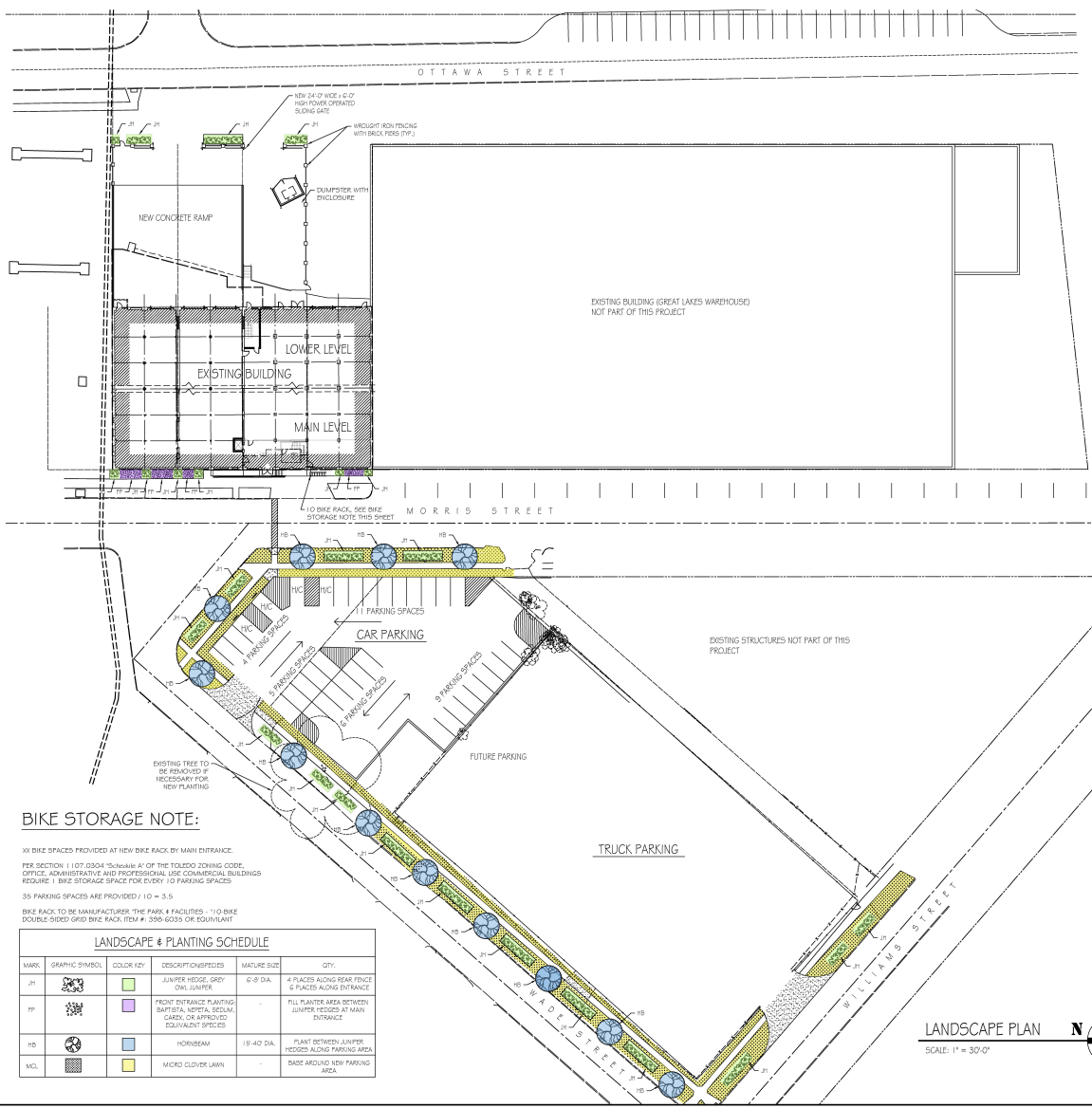
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LANDSCAPE PLAN

SPR25-0022



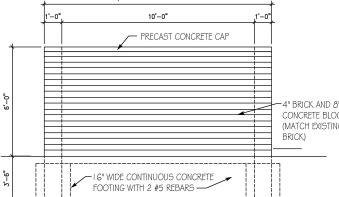
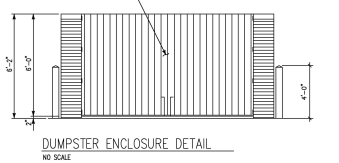
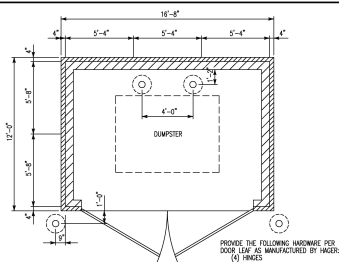
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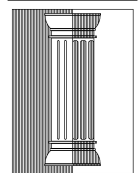
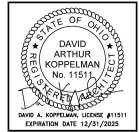
BIKE STORAGE NOTE:

XX BIKE SPACES PROVIDED AT NEW BIKE RACK BY MAIN ENTRANCE.
PER SECTION 1107.0304 "SHALLAWAY" OF THE TOLEDO ZONING CODE.
OFFICE, ADMINISTRATIVE AND PROFESSIONAL USE COMMERCIAL BUILDINGS
REQUIRE 1 BIKE STORAGE SPACE FOR EVERY 10 PARKING SPACES
SS PARKING SPACES ARE PROVIDED / 10 = 3.5
BIKE RACK TO BE MANUFACTURED THE PARK # FACILITIES - 110 BIKE
DOUBLE-SIDED GRID BIKE RACK ITEM #: 350-6035 OR EQUIVALENT

LANDSCAPE & PLANTING SCHEDULE					
MARK	GRAPHIC SYMBOL	COLOR KEY	DESCRIPTION/PROCES	MATURE SIZE	QTY
J1			JUNIPER HEDGE, GREY OVAL JUNIPER	12'-0" DIA.	4 PLACES ALONG REAR FENCE 6 PLACES ALONG ENTRANCE
TP			FRONT ENTRANCE PLANTING: BARTONIA, NORTON, SOCIAL CACTUS, OR APPROVED EQUIVALENT SPECIES	-	FILL PLANTER AREA BETWEEN JUNIPER HEDGES AT MAIN ENTRANCE
HS			HEDGE/SHRUB	18'-40" DIA.	PLANT BETWEEN JUNIPER HEDGES ALONG PARKING AREA
MC			MICRO CLOVER LAWN	-	BASE AROUND NEW PARKING AREA



CONC. BLOCK DUMPSTER SCREEN DETAIL TYPICAL 3 SIDES + 2 GATES
NOTE: ALL FENCE COMPONENTS AND ACCESSORIES TO BE HOT DIPPED GALVANIZED STEEL.



RIVERFRONT DEVELOPMENT L.L.C.
303, 305 & 307 MORRIS STREET
TOLEDO, OHIO

REVISIONS	DATE	BY	DESCRIPTION
1	7-13-25	DAK	ISSUED FOR PERMIT REVIEW

DESIGNED BY	DAK	FILE NAME	
CHECKED BY	DAK	SCALE	1" = 30'-0"
APPROVED BY	DAK	DATE	7-7-25

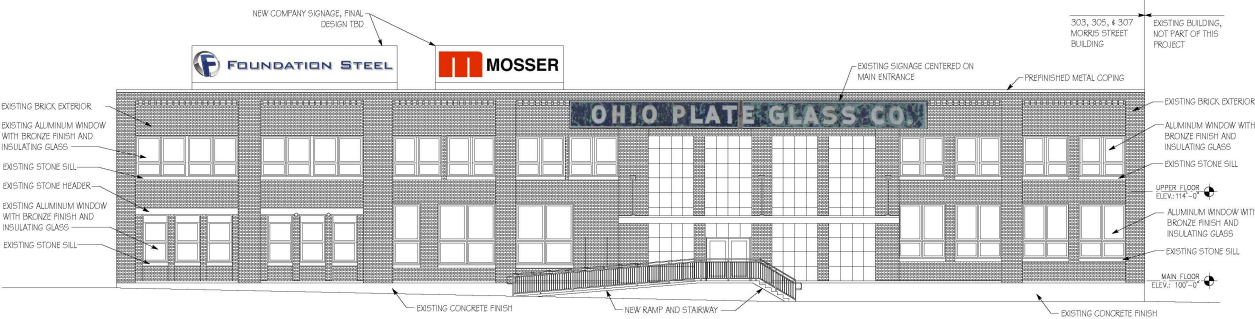
PROJECT NO.	LANDSCAPE PLAN
DRAWING NO.	C101

LANDSCAPE PLAN
SCALE: 1" = 30'-0"

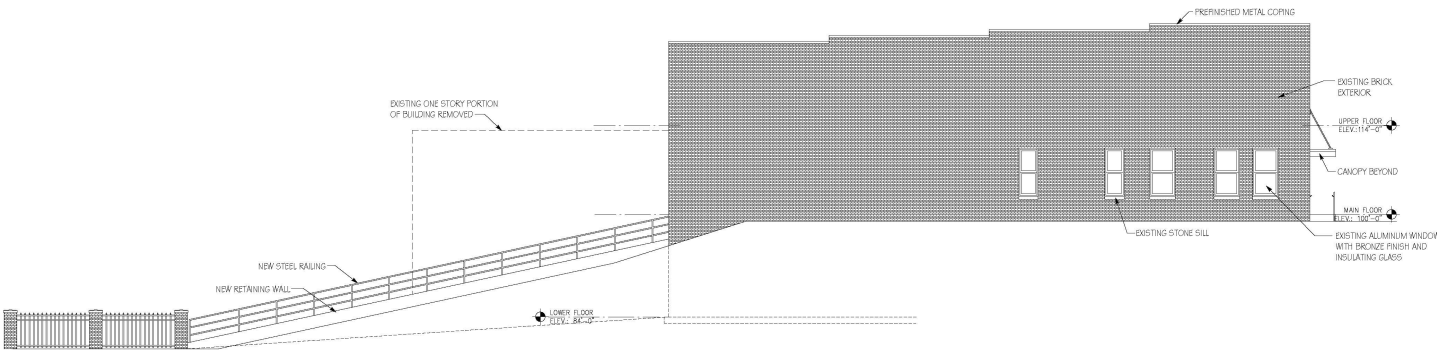
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NORTH & WEST ELEVATIONS

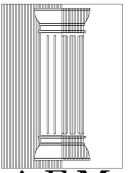
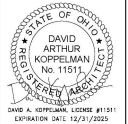
SPR25-0022



WEST ELEVATION - PRELIMINARY
SCALE: 1/8" = 1'-0"



NORTH ELEVATION - PRELIMINARY
SCALE: 1/8" = 1'-0"



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303, 305 & 307 MORRIS STREET, TOLEDO, OHIO

NO.	REVISIONS	DATE	BY
1	ISSUED FOR PERMIT REVIEW	10-19-24	

DESIGN BY	DATE FILED
DRAWN BY	DATE
APPROVED BY	DATE
PROJECT NO.	1-9-25

DRAWING TITLE
EXTERIOR ELEVATIONS

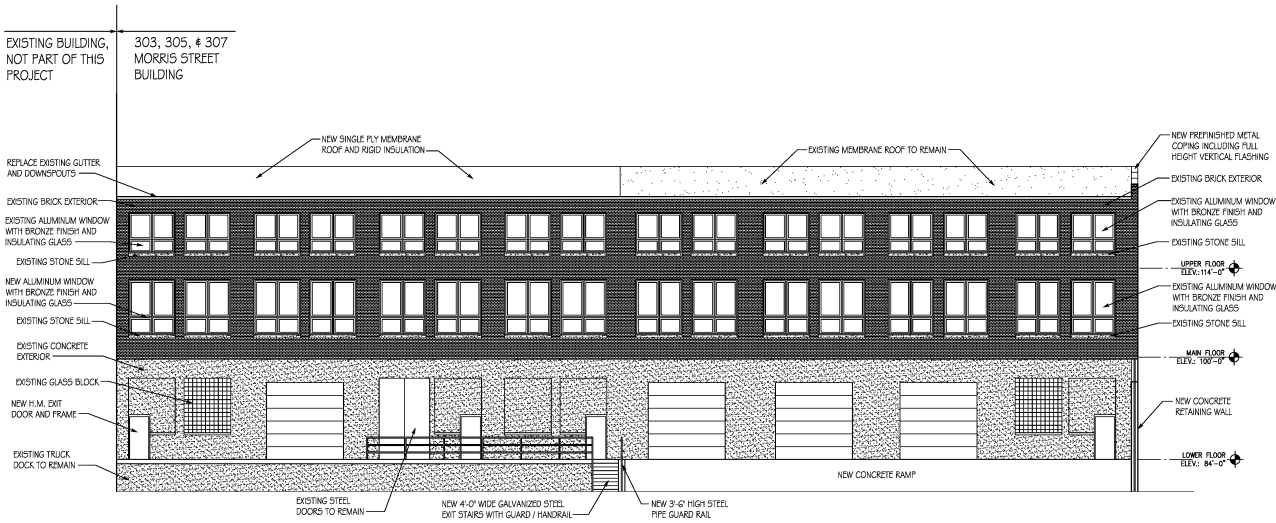
DRAWING NO.
A200

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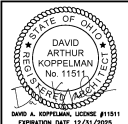
EAST ELEVATION

SPR25-0022

5 - 17



EAST ELEVATION - PRELIMINARY
SCALE: 1/8" = 1'-0"



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NO.	DESCRIPTION	DATE	BY
1	ISSUED FOR PERMIT REVIEW	3-19-25	DA

DRAWN BY	GD FILE NAME
DESIGNED BY	SCALE
APPROVED BY	DATE
PROJECT NO.	1-9-25
DRAWING TITLE	EXTERIOR ELEVATIONS
DRAWING NO.	A201

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