

GENERAL INFORMATION

Subject

- Request - Maumee River Overlay Review of Glass City Metropark Campground
- Location - 1821 Front Street
- Owner & Applicant - The Metropolitan Park District of the Toledo Area
5100 West Central Avenue
Toledo, OH 43615
- Engineer - Lewandowski Engineers
234 N Erie Street
Toledo, OH 43604
- Engineer - Red Wolf Engineering Solutions
P.O. Box 1308
Perrysburg, OH 43552

Site Description

- Base Zoning - POS / Parks and Open Space
- Overlay Zoning - Maumee Riverfront Overlay (MRO)
- Area - ±24.28 acres
- Frontage - ±776' along Craig Bridge Street
±881' along Front Street
- Existing Use - Undeveloped Land
- Proposed Use - Urban Camping

Area Description

- North - Maumee River / -MRO
- South - Tribute Park / IL & CO
- East - Interstate and Harbor / IG -MRO
- West - Museum, Glass City Metropark / CR & POS -MRO

Parcel History

- Z-158-81 - Proposed Zone Change for East Toledo Parks (PC approved 07/21/1981, Ord. 591-81 passed 07/16/1981).

GENERAL INFORMATION (cont'd)Parcel History (cont'd)

- M-13-83 - Review of Master Plan for the East Toledo Safety Center at the Intersection of Dearborn & Front (PC approved 10/20/1983, Ord. 924-83 passed 11/2/1983)
- SUP-169-83 - Special Use Permit for the East Toledo Safety Center near the intersection of Dearborn & Front (PC approved 10/20/1983, Ord. 925-83 passed 11/2/1983, repealed by Ord. 314-84)
- M-2-05 - Marina District Urban Renewal Plan (PC approved 04/25/2007).
- M-8-06 - Marina District Overlay Zoning District
- Z-8013-06 - Zone Change from IG, IL, CR, and POS to CR at 957-1821 Front Street (PC approved 10/12/2006, CC Z&P approved 11/15/2006, Ord. 807-06 passed 11/28/2006).
- M-15-13 - Correction to Marina District Overlay boundary originally approved via Ord. 93-10 (Ord. 568-13 passed 12/10/2013).
- Z-11002-18 - Zone Change from CR Regional Commercial and IG General Industrial to POS Parks and Open Space at 0 Riverside Drive (PC approved 01/10/2019, CC approved 02/13/2019, Ord. 89-19 passed 02/19/2019).
- MDO-1-21 - Marina District Overlay review of expansion of the Glass City Metropark at Front Street and Marina Drive (Marina District ARC approved 04/06/2021).
- MRO-1-21 - Maumee River Overlay review of expansion of the Glass City Metropark at Front Street and Marina Drive (PC approved 04/08/2021).
- MDO-3-18 - Marina District Overlay review of right of way vacation (ARC approved 10/02/2018).

GENERAL INFORMATION (cont'd)Parcel History (cont'd)

- | | | |
|--------------|---|--|
| Z-2005-21 | - | Zone Change from CR, IL, and POS to POS at Front Street and Marina Drive (PC approved 04/08/2021, CC moved forward w/o recommendation 05/12/2021, Ord. 292-21 passed 05/25/2021). |
| MDO-3-22 | - | Marina District Overlay Review of Glass City Metropark Campground located at 1821 Front Street (Marina District ARC approved 02/13/2023). |
| MRO-3-22 | - | Maumee River Overlay Review of Glass City Metropark Campground located at 1821 Front Street (PC approved 02/09/2023). |
| SUP-12006-22 | - | Amendment to Special Use Permit, originally granted by Ord. 90-19 and Ord. 293-21, for Glass City Metropark Campground located at 1821 Front Street (PC approved 2/9/23; CC approved 03/21/23, Ord. 155-23; expired 03/21/24). |
| M-7-23 | - | Text Amendment eliminating TMC§1108.0800 Marina District Overlay (P.C. approved 3/14/24; CC approved 4/24/24, Ord. 198-24) |
| SUP25-0003 | - | Amendment to Special Use Permit, originally granted by Ord. 90-19 and Ord. 293-21, for Glass City Metropark Campground located at 1821 Front Street (<i>Companion Case</i>) |

Applicable Plans & Regulations

- Toledo Municipal Code (TMC), Part Eleven: Planning and Zoning Code
- Forward Toledo Comprehensive Land Use Plan
- Maumee Riverfront Plan
- Connecting the Pieces Plan

STAFF ANALYSIS

The request is a Maumee Riverfront Overlay District (MRO) review of the Glass City Metropark Campground at 1821 Front Street. Previously, the applicant has applied for and received approval for the development of the Glass City Metropark. The proposed campground will be at the northernmost end of the park. This ±24.28 acre site is zoned POS (Parks and Open Space) and will feature twenty (20) campsites of various sizes and amenities available to rent. Surrounding land uses include the Maumee River to the north, Tribute Park to the south, I-280 to the east, and the National Museum of the Great Lakes to the west.

STAFF ANALYSIS (cont'd)

The applicant has applied for companion case SUP25-0003, an amendment of a Special Use Permit, originally granted by Ord. 90-19 and Ord. 293-21, for Glass City Metropark Campground at 1821 Front Street. This is the third phase of the Metropark's development.

The MRO was enacted in the 1970s as redevelopment interests increased along the Maumee River. The overlay attempts to balance development while maximizing recreational and residential opportunities along a significant citywide asset. The overlay recommends the arrangement of land uses into three subcategories along the River and established a review for any redevelopment. This site is predominantly located within the Near Downtown Subdistrict which is intended to promote commercial uses and high-intensity residential development, while also permitting parks, recreational facilities, and providing public access. Developments shall be designed to establish an open character with respect to views of the river. Pedestrian connectivity shall form a convenient, landscaped network to extensive areas of shoreline. It is further intended that adverse visual influences be prohibited or minimized, to preserve and enhance the views of the Maumee River.

Connecting the Pieces Plan

The Connecting the Pieces Plan recommends a significant portion of the site for public enjoyment. The campsite will be available for both residents and tourists to rent. It will have adequate pedestrian connectivity to the larger Glass City Metropark campus, and a bike path exists on the perimeter of the campground. This multi-use path connects to existing bicycle infrastructure to the north along the Craig Street Bridge, and to International Park to the south. The height and bulk of the proposed comfort station and cabins are setback from the Maumee River, and the height and bulk of these structures will not have a negative impact on riverside views. The proposed development is consistent with the goals and intent of the Maumee Riverfront Overlay District.

Forward Toledo Comprehensive Land Use Plan

The Forward Toledo Comprehensive Land Use Plan targets this site for Park Land and Water Belt land use designations. Designations in the plan have three components which must be evaluated for compatibility: physical design, land uses, and geographic characteristics.

The Park Land land use designation provides space for parks, gathering spaces, recreation areas, open spaces, and nature conservation areas for public use. Land uses within this designation provide public benefit and enjoyment without payment, membership, or other form of exclusivity. The proposed campground expands the park into an underutilized lot and compliments nearby land uses; however, the campground amenities are exclusive to those who pay for a campsite.

The Water Belt land use designation recognizes, promotes, and optimizes a mix of residential, commercial, industrial, and public land uses along major bodies of water, while emphasizing the development's connection to the water through shared public access. The proposed campground is sensitive to its proximity to the water by providing amenities which emphasize river views; however, these water views are not publicly accessible. They are exclusive to those who pay for a campsite.

STAFF ANALYSIS (cont'd)

Forward Toledo Comprehensive Land Use Plan (cont'd)

The version of this campsite which was approved in 2023 did not include a fence blocking public access. According to the applicant, a fence was added at the request of the Toledo Police Department and the Metroparks Rangers after some disturbances occurred in the wider Glass City Metropark. Staff understands the applicant's security concerns and admits the fence could help protect the campground patron's belongings. However, staff also believes the path, shelter, and swing benches along the river could and should be publicly accessible, benefiting all Glass City Metropark visitors. Staff suggested adding additional fencing which would encircle the campground completely, allowing access to the proposed riverfront amenities via additional path connections around the fenced-in campgrounds. However, this solution is purportedly cost-prohibitive. Thus the proposed campground lies at an impasse between being compatible – due to the wider Metropark's activation of underutilized waterfront land – and incompatible – due to the exclusivity of this third phase of development – with the Forward Toledo Plan.

STAFF RECOMMENDATION

The staff recommends that the Toledo City Plan Commission approve of MRO-1-25, a Maumee River Overlay Review of Glass City Metropark Campground at 1821 Front Street for the following reason:

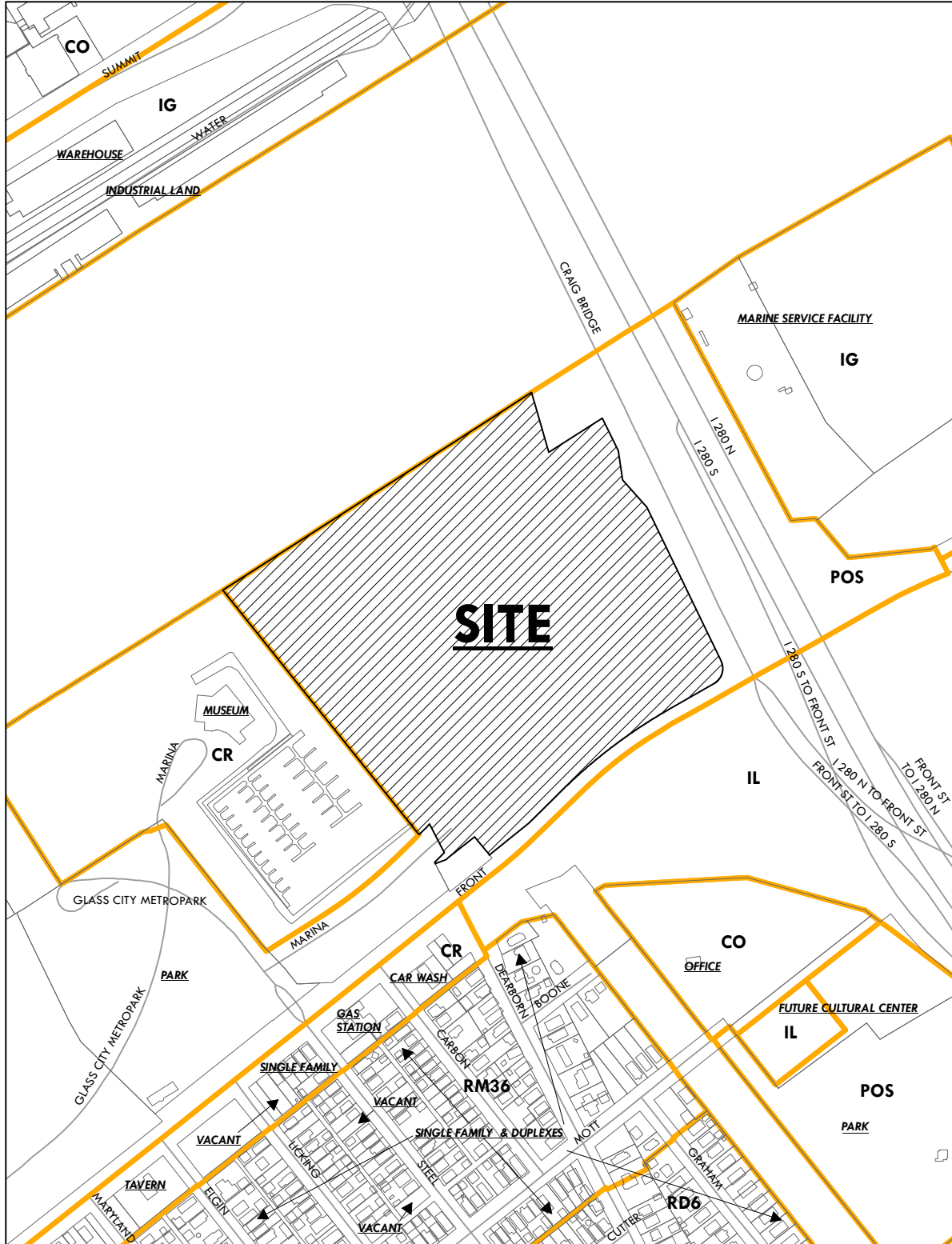
1. The proposed development conforms to the goals of the Maumee Riverfront Overlay District, as presented in the 1981 Maumee Riverfront Plan and the Toledo Municipal Code as outlined in TMC 1103.0400 and TMC 1111.1400.

MAUMEE RIVER OVERLAY REVIEW
TOLEDO PLAN COMMISSION
REF: MRO-1-25
DATE: March 13, 2025
TIME: 2:00 P.M.

AS
Six (6) sketches follow

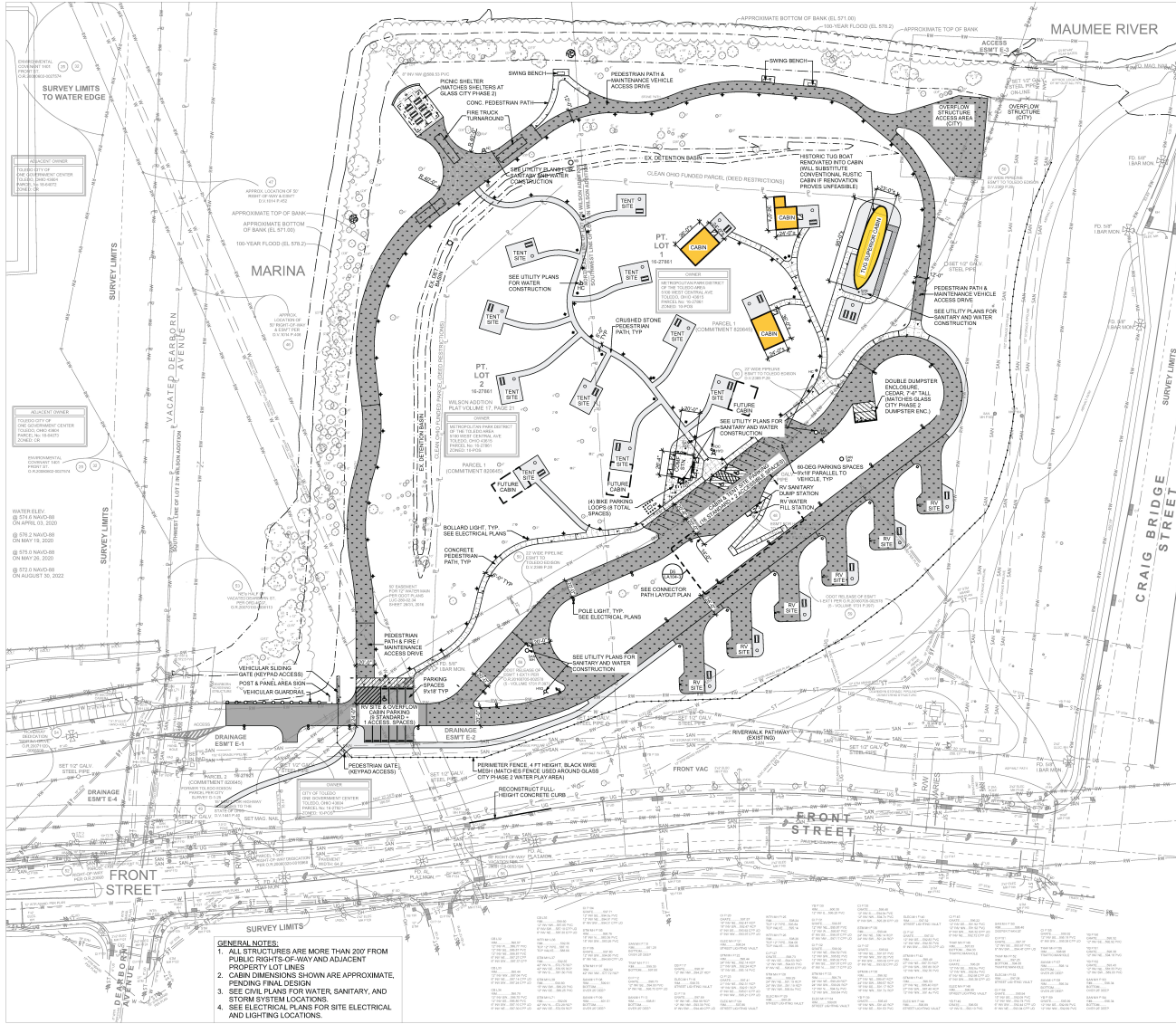
ZONING & LAND USE

MRO-1-25
ID 27



SITE PLAN

MRO-1-25
ID 27



STANDARD SYMBOL LEGEND:

- NOTE: NOT ALL SYMBOLS ARE INCLUDED ON ALL DRAWINGS
- PROPERTY LINE
 - RIGHT-OF-WAY EASEMENT AS NOTED
 - CENTERLINE
 - TOP / BOTTOM OF BANK AS NOTED
 - OVERHEAD ELECTRIC
 - UNDERGROUND ELECTRIC
 - UNDERGROUND ELECTRIC FOR POLE LIGHTS
 - UNDERGROUND ELECTRIC FOR BOLLARD LIGHTS
 - SANITARY SEWER
 - STORM SEWER
 - WATER
 - FIBER-OPTIC
 - GAS
 - OIL
 - FENCE
 - GUARDRAIL
 - ACCESSIBLE POWER REEDEL
 - POWER POLE
 - POLE LIGHT
 - BOLLARD LIGHT
 - MANHOLE
 - YARD BASIN
 - HYDRANT
 - SIGN

HARDSCAPE LEGEND:

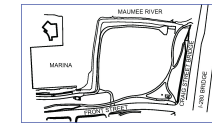
- NOTE: NOT ALL SYMBOLS ARE USED ON ALL DRAWINGS. SEE TYPICAL SECTIONS FOR MORE INFORMATION.
- LIGHT DUTY CONCRETE PAVEMENT PROFILE. INTERNAL COLOR AS SHOWN. FINISH U.O.
 - HEAVY DUTY CONCRETE PAVEMENT PROFILE. SEE PROJECT PROOF OF CONC. STOP. AS NOTED. MATCH COLOR & FINISH OF ADJACENT CONC.
 - ASPHALT SEAL COAT PAVEMENT PROFILE
 - MEDIUM-DUTY ASPHALT PAVEMENT PROFILE
 - HEAVY-DUTY ASPHALT PAVEMENT PROFILE
 - CRUSHED STONE PAVEMENT PROFILE
 - TACTILE WARNING SURFACING

CAMPGROUND CAPACITY SUMMARY (ALL PHASES)

SITE TYPE	QTY	PERSONS PER SITE		TOTAL SPACES	TOTAL PARKING SPACES
		PER SITE	ONE TIME		
TENT	10	5	50	1	10
SMALL CABIN	1	4	4	1	1
MEDIUM CABIN	2	6	12	2	4
TWO SUBURBAN	1	12	12	3	3
RECREATIONAL VEHICLE RV	6	6	36	1	6
	20		114	24	24 + ADA + EXTRA

CAMPGROUND AMENITIES SUMMARY (ALL PHASES)

AMENITY	QUANTITY REQUIRED	QUANTITY PROVIDED
BICYCLE PARKING	1 PER 10 VEHICLE PARKING	28 SERVICES
TOILET & SHOWER	1 PER 35 PLOT + 2	1
PICNIC GRILLER	N/A	1
PICNIC TABLE	1 PER CAMPSITE + 19	19 + 1
CHURCHILL GRILL	NOT REQUIRED	1
FIRE RING	1 PER CAMPSITE + 20	20 AT SITES
FIREWOOD STAKING	N/A	1 AT SITES
SWING BENCH	N/A	31 LOCATIONS
DRINKING FOUNTAIN	1 PER COFFEE STATION	3



A1 SITE MAP
NOT TO SCALE

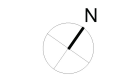
GENERAL NOTES:

1. ALL STRUCTURES ARE MORE THAN 200' FROM PUBLIC RIGHT-OF-WAY AND ADJACENT PROPERTY LOT LINES.
2. CABIN DIMENSIONS SHOWN ARE APPROXIMATE. PENDING FINAL DESIGN.
3. SEE CIVIL PLANS FOR WATER, SANITARY, AND STORM SYSTEM LOCATIONS.
4. SEE ELECTRICAL PLANS FOR SITE ELECTRICAL AND LIGHTING LOCATIONS.

A2 OVERALL SITE PLAN
SCALE: 1" = 50'



PRELIMINARY - NOT FOR CONSTRUCTION



PROJECT TITLE
Glass City Metropark
Urban Campground

SPECIAL USE PERMIT AMENDMENT

1821 Front Street
Toledo, OH 43605

01.24.2025 S.U.P. AMENDMENT

SHEET TITLE
OVERALL SITE PLAN

SHEET NO.
LA101

PRINTED: 1/24/2025

8 - 5

PLANTING PLAN

MRO-1-25
ID 27



LANDSCAPE LEGEND:
NOTE: NOT ALL SYMBOLS ARE USED ON ALL DRAWINGS. SEE PLANT SCHEDULES FOR MIX SPECIFICATIONS.

- LAWN MIX
- LOW-MOW TURF MIX
- UPLAND PRAIRIE MIX
- WETLAND PRAIRIE MIX
- WOODLAND TRANSITION MIX
- CANOPY TREE
- TREE SEEDLING (W/ PROTECTIVE TUBE)
- SHRUB



PRELIMINARY
NOT FOR CONSTRUCTION



PROJECT TITLE
**Glass City Metropark
Urban Campground**
SPECIAL USE
PERMIT
AMENDMENT
1821 Front Street
Toledo, OH 43605

5/24/2025 S.U.P. AMENDMENT

SHEET TITLE
**OVERALL
PLANTING PLAN**

SHEET NO.
LP101

PRINTED: 1/24/2025

PLANT SCHEDULE - TREES & SHRUBS						
QTY.	ABBR.	TYPE	COMMON NAME	SIZE	ROOT	SPACING
150		CANOPY TREE	T.B.D. (NATIVE TO REGION)	3" CAL.	B&B	
150		CANOPY TREE SEEDLING	T.B.D. (NATIVE TO REGION)	SEEDLING	BARE ROOT	
300		NATURALIZING SHRUB	T.B.D. (NATIVE TO REGION)	5 GAL.	CONTAINER	

PLANT SCHEDULE - SEED MIXES		
MIX NAME	AREA (SQ. FT.)	NOTES
LAWN	138,984	T.B.D. (COMPARABLE TO ODOT CLASS 1 PLUS CLOVER)
LOW-MOW TURF	40,909	T.B.D. (COMPARABLE TO ODOT CLASS 3B SEED MIX PLUS CLOVER AND 3-5 FLOWERING PERENNIALS)
UPLAND PRAIRIE	59,137	T.B.D. (COMPARABLE TO ODOT CLASS 5B SEED MIX)
WETLAND PRAIRIE	3,171	T.B.D.
WOODLAND TRANSITION	136,594	T.B.D. (COMPARABLE TO ODOT CLASS 4A SEED MIX)

A2 OVERALL PLANTING PLAN
SCALE: 1" = 50'



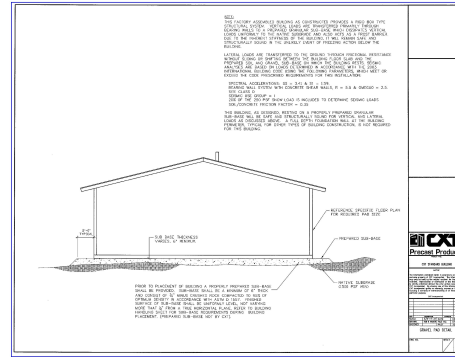
5-9

COMFORT STATION

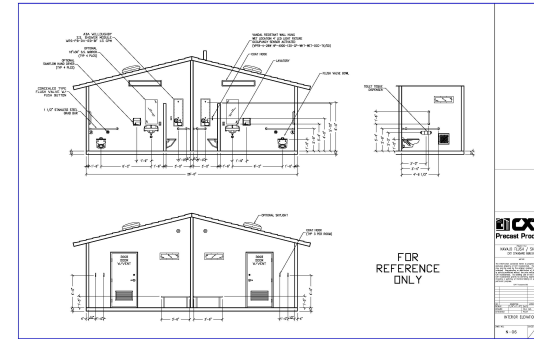
MRO-1-25
ID 27



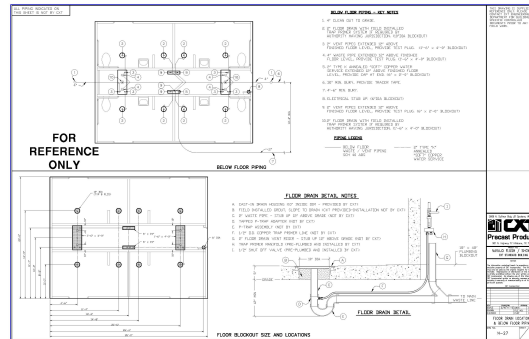
NOTE: COMFORT STATION DRAWINGS FROM MANUFACTURER, FOR GENERAL REFERENCE ONLY



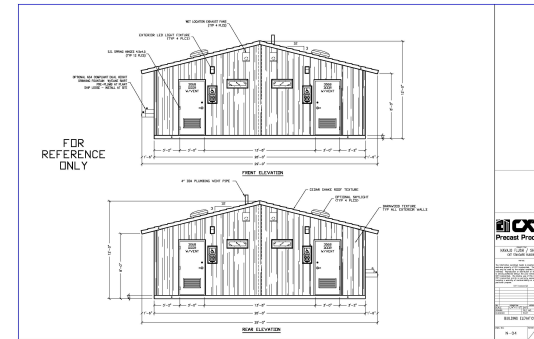
E4 4-UNIT COMFORT STATION PAD DETAIL
NOT TO SCALE



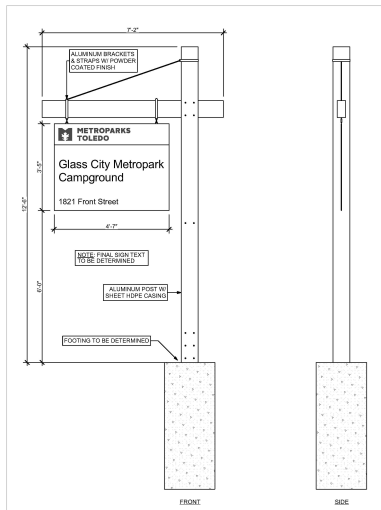
E1 4-UNIT COMFORT STATION INTERIOR ELEVATIONS
NOT TO SCALE



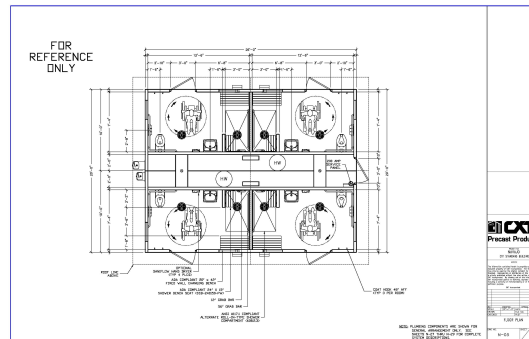
C4 4-UNIT COMFORT STATION UTILITY PIPING
NOT TO SCALE



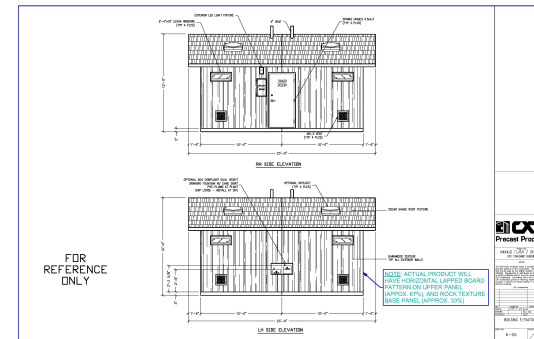
C1 4-UNIT COMFORT STATION FRONT & REAR ELEVATIONS
NOT TO SCALE



A7 AREA IDENTIFICATION SIGN ELEVATIONS
SCALE: 1/2" = 1'-0"



A4 4-UNIT COMFORT STATION FLOOR PLAN
SCALE: 1" = 1'-0"



A1 4-UNIT COMFORT STATION SIDE ELEVATIONS
NOT TO SCALE



**METROPARKS
TOLEDO**

PRELIMINARY -
NOT FOR CONSTRUCTION



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**Glass City Metropark
Urban Campground**
**SPECIAL USE
PERMIT
AMENDMENT**
1821 Front Street
Toledo, OH 43605

01.24.2025 S.U.P. AMENDMENT

SHEET TITLE
**COMFORT
STATION DETAILS**

SHEET NO.
LA503

PRINTED: 1/24/2025