



City Council Zoning & Planning Committee

Theresa Morris, Chair

Adam Martinez, Vice Chair

Wednesday, June 17, 2026

One Government Center 1st Floor 4:00 P.M.

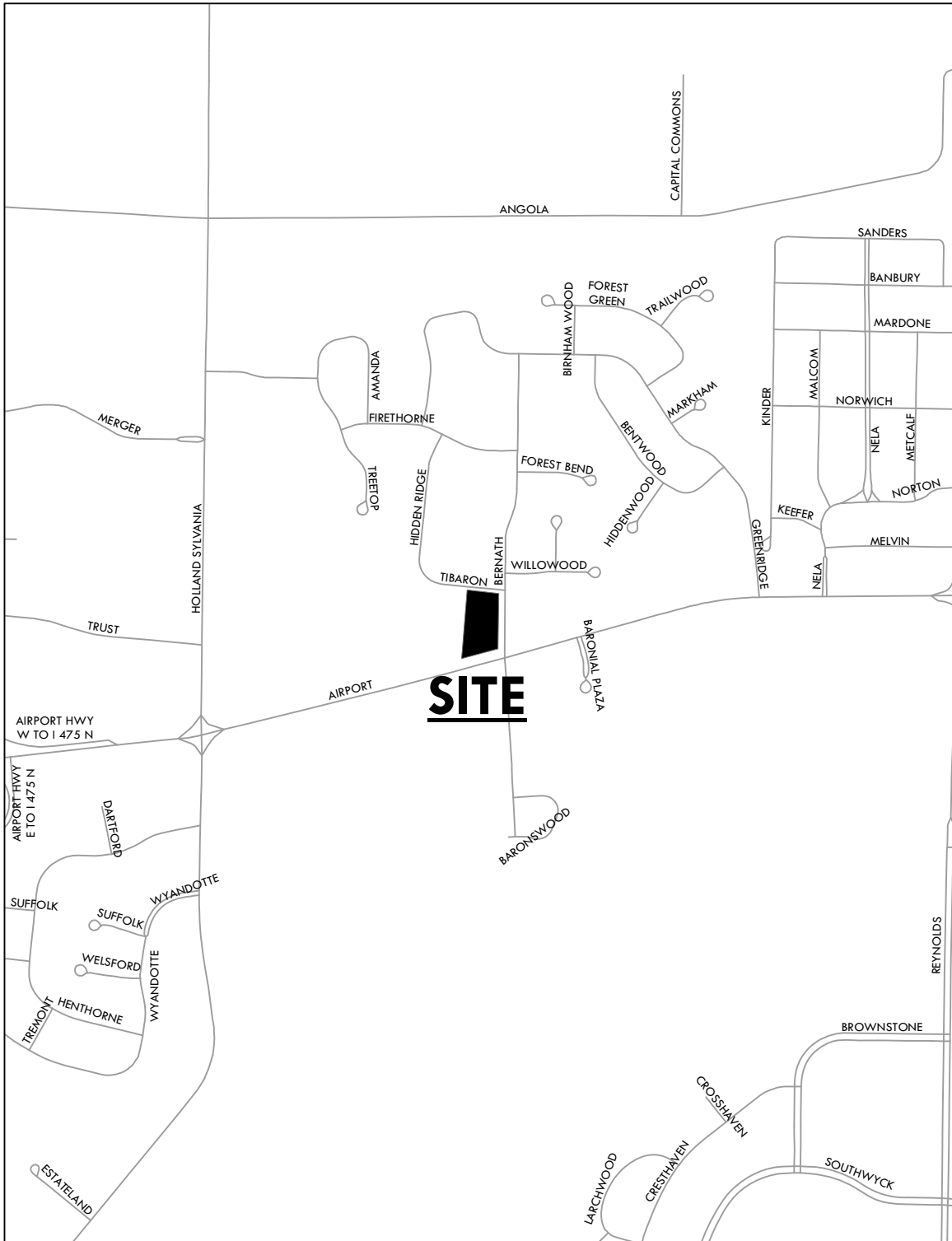
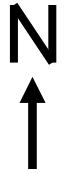
- 1.** Request for a Special Use Permit for Gasoline and Fuel Sales for the property located at 1322 Bernath Pkwy. (SUP25-0049).
The Plan Commission Staff recommends approval, subject to 46 conditions and 2 waivers.
The Plan Commission recommends disapproval.
(District 2)
- 2.** Request for removal of Lot 1 of the Tibaron Plat 1 from the Community Unit Plan originally approved by Ord. 373-76 and as amended for the property located at 1322 Bernath Pkwy. (PUD26-0005).
The Plan Commission recommends approval.
(District 2)
- 3.** Request for a zone change from “RM12” Multi-Dwelling Residential to “CN” Neighborhood Commercial for the property located at 1322 Bernath Pkwy. (Z25-0038).
The Plan Commission recommends approval.
(District 2)
- 4.** Request for a zone change from “CR” Regional Commercial to “RM36” Multi-Family Residential for the property located at 802 and 806 Nebraska Ave. (Z26-0006).
The Plan Commission recommends approval.
(District 4)
- 5.** Request for a zone change from “CR” Regional Commercial to “CR-SO” Regional Commercial-Shopping Center Sign Control Overlay for the property located at 3404, 3420 and 3434 W. Central Ave. and 3311 Secor Rd. (Z26-0007).
The Plan Commission recommends approval, subject to 1 condition.
(District 5)
- 6.** Request for the Vacation of a Portion of Jefferson Ave. between Water St. and the Maumee River (V-75-26).
The Plan Commission recommends approval, subject to 7 conditions.
(District 4)

7. Request for a Special Use Permit for Gas and Fuel Sales for the property located at 5303 W. Bancroft St. (SUP26-0008).
The Plan Commission recommends approval, subject to 46 conditions.
(District 2)
8. Request for a Special Use Permit for Gas and Fuel Sales for the property located at 5305 and 5321 Monroe St. and 4700 Nantuckett Dr.
The Plan Commission makes no recommendation.
There are 44 condition of approval.
(District 5)
9. Request for a Study to amend the landscaping requirements outlines in Toledo Municipal Code Part Eleven, to require the use of native plants.
10. Review of outstanding studies within the Plan Commission.
11. Review of upcoming moratorium expiration dates.

City Council's office supports the provisions of the Americans' with Disabilities Act. If you need special accommodations, please call 48 hours prior to meeting time at (419) 245-1065.

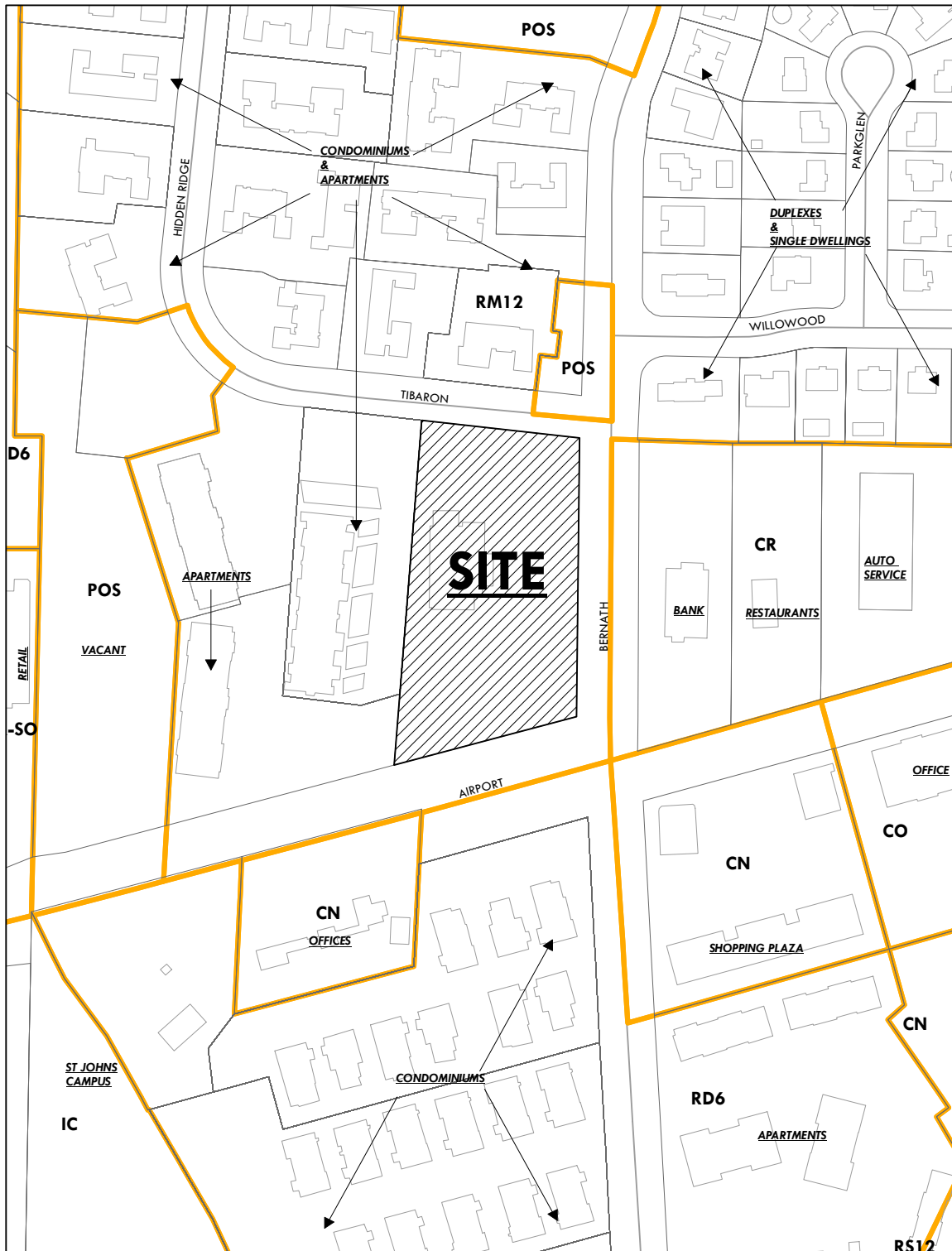
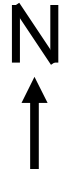
GENERAL LOCATION

SUP25-0049
ID 139



ZONING & LAND USE

SUP25-0049
ID 139

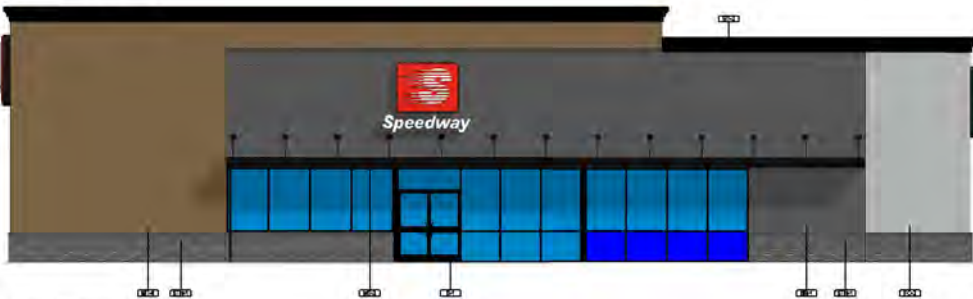


ELEVATIONS PLAN

SUP25-049
ID 139



MATERIAL CALL-OUT SCHEDULE
 BRICK, 8" x 8" x 16"
 POLYURETHANE, 1/2" x 1/2"
 SOLID, 1/2" x 1/2"
 TRANSPARENT, 1/2" x 1/2"
 FRONT ELEVATION TOTAL SF: 1,847 SF



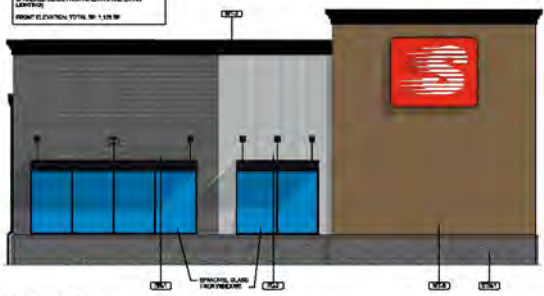
5 FRONT (EAST) ELEVATION
1/4" = 1'-0"

MATERIAL CALL-OUT SCHEDULE
 BRICK, 8" x 8" x 16"
 POLYURETHANE, 1/2" x 1/2"
 TRANSPARENT, 1/2" x 1/2"
 FRONT ELEVATION TOTAL SF: 1,847 SF



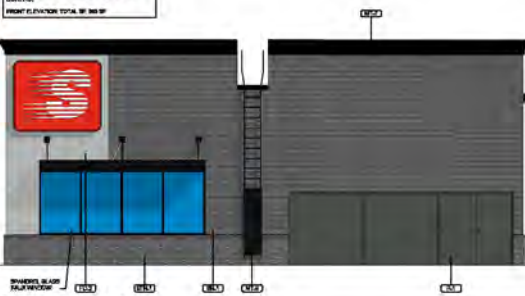
4 REAR (WEST) ELEVATION
1/4" = 1'-0"

MATERIAL CALL-OUT SCHEDULE
 BRICK, 8" x 8" x 16"
 POLYURETHANE, 1/2" x 1/2"
 SOLID, 1/2" x 1/2"
 TRANSPARENT, 1/2" x 1/2"
 FRONT ELEVATION TOTAL SF: 1,335 SF



3 LEFT (SOUTH) ELEVATION
1/4" = 1'-0"

MATERIAL CALL-OUT SCHEDULE
 BRICK, 8" x 8" x 16"
 POLYURETHANE, 1/2" x 1/2"
 SOLID, 1/2" x 1/2"
 TRANSPARENT, 1/2" x 1/2"
 FRONT ELEVATION TOTAL SF: 948 SF



2 RIGHT (NORTH) ELEVATION
1/4" = 1'-0"

| EXTERIOR MATERIALS SCHEDULE | | | | | | | | | |
|-----------------------------|----------------|--------|--------------|----------------|----------------|--|--|--|--|
| NO. | DESCRIPTION | FINISH | INSTALLATION | DETAILS | COMMENTS | | | | |
| 001 | EXTERIOR WALLS | BRICK | POLYURETHANE | SEE ELEVATIONS | SEE ELEVATIONS | | | | |
| 002 | EXTERIOR WALLS | BRICK | POLYURETHANE | SEE ELEVATIONS | SEE ELEVATIONS | | | | |
| 003 | EXTERIOR WALLS | BRICK | POLYURETHANE | SEE ELEVATIONS | SEE ELEVATIONS | | | | |
| 004 | EXTERIOR WALLS | BRICK | POLYURETHANE | SEE ELEVATIONS | SEE ELEVATIONS | | | | |
| 005 | EXTERIOR WALLS | BRICK | POLYURETHANE | SEE ELEVATIONS | SEE ELEVATIONS | | | | |
| 006 | EXTERIOR WALLS | BRICK | POLYURETHANE | SEE ELEVATIONS | SEE ELEVATIONS | | | | |
| 007 | EXTERIOR WALLS | BRICK | POLYURETHANE | SEE ELEVATIONS | SEE ELEVATIONS | | | | |
| 008 | EXTERIOR WALLS | BRICK | POLYURETHANE | SEE ELEVATIONS | SEE ELEVATIONS | | | | |
| 009 | EXTERIOR WALLS | BRICK | POLYURETHANE | SEE ELEVATIONS | SEE ELEVATIONS | | | | |
| 010 | EXTERIOR WALLS | BRICK | POLYURETHANE | SEE ELEVATIONS | SEE ELEVATIONS | | | | |
| 011 | EXTERIOR WALLS | BRICK | POLYURETHANE | SEE ELEVATIONS | SEE ELEVATIONS | | | | |
| 012 | EXTERIOR WALLS | BRICK | POLYURETHANE | SEE ELEVATIONS | SEE ELEVATIONS | | | | |
| 013 | EXTERIOR WALLS | BRICK | POLYURETHANE | SEE ELEVATIONS | SEE ELEVATIONS | | | | |
| 014 | EXTERIOR WALLS | BRICK | POLYURETHANE | SEE ELEVATIONS | SEE ELEVATIONS | | | | |
| 015 | EXTERIOR WALLS | BRICK | POLYURETHANE | SEE ELEVATIONS | SEE ELEVATIONS | | | | |
| 016 | EXTERIOR WALLS | BRICK | POLYURETHANE | SEE ELEVATIONS | SEE ELEVATIONS | | | | |
| 017 | EXTERIOR WALLS | BRICK | POLYURETHANE | SEE ELEVATIONS | SEE ELEVATIONS | | | | |
| 018 | EXTERIOR WALLS | BRICK | POLYURETHANE | SEE ELEVATIONS | SEE ELEVATIONS | | | | |
| 019 | EXTERIOR WALLS | BRICK | POLYURETHANE | SEE ELEVATIONS | SEE ELEVATIONS | | | | |
| 020 | EXTERIOR WALLS | BRICK | POLYURETHANE | SEE ELEVATIONS | SEE ELEVATIONS | | | | |

SEE ELEVATIONS
 POLYURETHANE, 1/2" x 1/2"
 TRANSPARENT, 1/2" x 1/2"
 FRONT ELEVATION TOTAL SF: 1,847 SF



7-ELEVATION, INC.
 7-ELEVATION 8800 EAST
 ALPHARETTA, GA 30201



DATE: 10/15/2019
 DRAWN BY: J. CHAMBERLAIN
 CHECKED BY: J. CHAMBERLAIN



SHEET:
A3.3

LANDSCAPE PLAN

SUP25-049
ID 139



Speedway

7-ELEVEN, INC.
SPEEDWAY -
TOLEDO, OH
1000 SHERMAN PARK,
TOLEDO, OH 43577

Scale: 1/8" = 1'-0"

Date: _____

Project Number: 20000

Drawn By: AS SHOWN

Checked By: JGJ/ED

Classified By: RT/AS

Date: 02/02/2020

Status: NOT FOR CONSTRUCTION

Drawing Title: LANDSCAPE PLAN

L1.0

LEGEND

| | |
|----------|-------------------------|
| [Symbol] | PRIVATE DRIVE |
| [Symbol] | APPROXIMATE LOT LINES |
| [Symbol] | RETENTION POND |
| [Symbol] | PERIMETER LANDSCAPE |
| [Symbol] | PARKING LOT LANDSCAPE |
| [Symbol] | INTERIOR SITE LANDSCAPE |
| [Symbol] | FOUNDATION PLANTINGS |
| [Symbol] | CONSTRUCTION |
| [Symbol] | EXISTING |
| [Symbol] | PROPOSED |
| [Symbol] | AS SHOWN |
| [Symbol] | NOT FOR CONSTRUCTION |

PLANT SCHEDULE

| SYMBOL | QTY | BOTANICAL / COMMON NAME | SIZE | MIN HT. / SPR. | SPACING |
|---------------|-----|--|--------|----------------|-----------|
| TREES | | | | | |
| [Symbol] | 18 | ACORN BARK VARIETY KUMARIA (20' CAL) | 2" CAL | 8' H | 16' X 16' |
| [Symbol] | 24 | QUICK GROWING SILVER CHERRY (20' CAL) | 2" CAL | 8' H | 16' X 16' |
| [Symbol] | 6 | QUICK GROWING SILVER CHERRY (20' CAL) | 1" CAL | 8' H | 16' X 16' |
| SHRUBS | | | | | |
| [Symbol] | 24 | LEUCANSA PINKY (20' CAL) | 1" CAL | 2' H | 16' X 16' |
| [Symbol] | 24 | LEUCANSA PINKY (20' CAL) | 1" CAL | 2' H | 16' X 16' |
| [Symbol] | 24 | LEUCANSA PINKY (20' CAL) | 1" CAL | 2' H | 16' X 16' |
| [Symbol] | 24 | LEUCANSA PINKY (20' CAL) | 1" CAL | 2' H | 16' X 16' |
| [Symbol] | 24 | LEUCANSA PINKY (20' CAL) | 1" CAL | 2' H | 16' X 16' |
| [Symbol] | 24 | LEUCANSA PINKY (20' CAL) | 1" CAL | 2' H | 16' X 16' |

GROUND COVERS

| | | | | | |
|----------|-----|------------------------------|---------|------|-----------|
| [Symbol] | 100 | BIOPORUM MULCH (2" LAYER) | 1" DIA. | 1" H | 16' X 16' |
| [Symbol] | 100 | BIOPORUM MULCH (2" LAYER) | 1" DIA. | 1" H | 16' X 16' |

SCOOLED

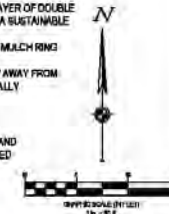
| | | | | | |
|----------|-----|------------------------------|---------|------|-----------|
| [Symbol] | 100 | BIOPORUM MULCH (2" LAYER) | 1" DIA. | 1" H | 16' X 16' |
|----------|-----|------------------------------|---------|------|-----------|

MULCH

- ALL PLANT BEDS SHALL CONTAIN A 2" LAYER OF DOUBLE HAMMERED HARDWOOD MULCH (FROM A SUSTAINABLE SOURCE)
- CONTRACTOR TO PLACE A 4" DIAMETER MULCH RING AROUND ALL TREES IN LAWN
- ALL TREE RINGS TO BE A MINIMUM OF 3" AWAY FROM PLANTING BED EDGE UNLESS SPECIFICALLY DIMENSIONED OTHERWISE

IRRIGATION

THE CONTRACTOR SHALL DESIGN, SUPPLY, AND INSTALL IRRIGATION SYSTEM FOR ALL SCOOLED AND PLANTING AREAS AS SHOWN ON THIS SHEET. DESIGN SHALL BE APPROVED BY OWNERS REPRESENTATIVE PRIOR TO INSTALLATION.



NOTED: THE OWNER HAS REVIEWED THIS PLAN AND HAS APPROVED THE CONTRACTOR'S PROPOSAL FOR THE CONSTRUCTION OF THE LANDSCAPE PLAN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF TOLEDO AND THE OHIO DEPARTMENT OF PUBLIC SAFETY (DPS) PRIOR TO CONSTRUCTION.



LANDSCAPE REQUIREMENTS

FRONTAGE GREEN BELT LANDSCAPE

REQUIREMENTS
IF PARKING IS DEVELOPED AT FRONT OF PROPERTY, A GREENBELT IS REQUIRED:
MIN 10' BUFFER WIDTH
1 TREE PER 30 LF OF FRONTAGE
SOLID EVERGREEN HEDGE NEAR PARKING

(NORTH) PRIVATE DRIVE (217 LF) NOT INCLUDING DRIVES
TREES REQUIRED: 8
TREES PROVIDED: 8
SHRUBS REQUIRED: EVERGREEN HEDGE
SHRUBS PROVIDED: EVERGREEN HEDGE

(SOUTH) AIRPORT HIGHWAY (277 LF) NOT INCLUDING DRIVES
TREES REQUIRED: 10
TREES PROVIDED: 10
SHRUBS REQUIRED: EVERGREEN HEDGE
SHRUBS PROVIDED: EVERGREEN HEDGE

(EAST) BERTH PARKWAY (201 LF) NOT INCLUDING DRIVES
TREES REQUIRED: 10
TREES PROVIDED: 10
SHRUBS REQUIRED: EVERGREEN HEDGE
SHRUBS PROVIDED: EVERGREEN HEDGE

BUFFER REQUIREMENTS

TYPE A BUFFER REQUIRED (NO BUFFER WITH A FENCE)
4 TREES PER 100 LF
15 SHRUBS PER 100 LF

(WEST) (424 LF) NOT INCLUDING DRIVES
TREES REQUIRED: 18
TREES PROVIDED: 18 (SOME RELOCATED ON SITE DUE TO EX UNDERGROUND UTILITIES & PROPOSED WALL)
SHRUBS REQUIRED: 68
SHRUBS PROVIDED: 78

VIA LANDSCAPE REQUIREMENTS

PERIMETER LANDSCAPE
REQUIRED: 10' MIN WIDTH
PROVIDED:
NORTH: 12' WIDTH
SOUTH: 12' WIDTH
WEST: 20' WIDTH
EAST: 15' WIDTH

PARKING LOT LANDSCAPE REQUIREMENTS

AREA STANDARDS
REQUIRED SF OF LANDSCAPING = 30 SF X PARKING AREA (DOES NOT INCLUDE GREENBELT OR BUFFER)
REQUIRED LANDSCAPE AREA: 660 SF (23 SPACES X 30)
PROPOSED LANDSCAPE AREA: 2,054 SF

INTERIOR REQUIREMENTS

2 CANOPY TREES PER 10 PARKING SPACES; 6 SHRUBS PER 10 PARKING SPACES

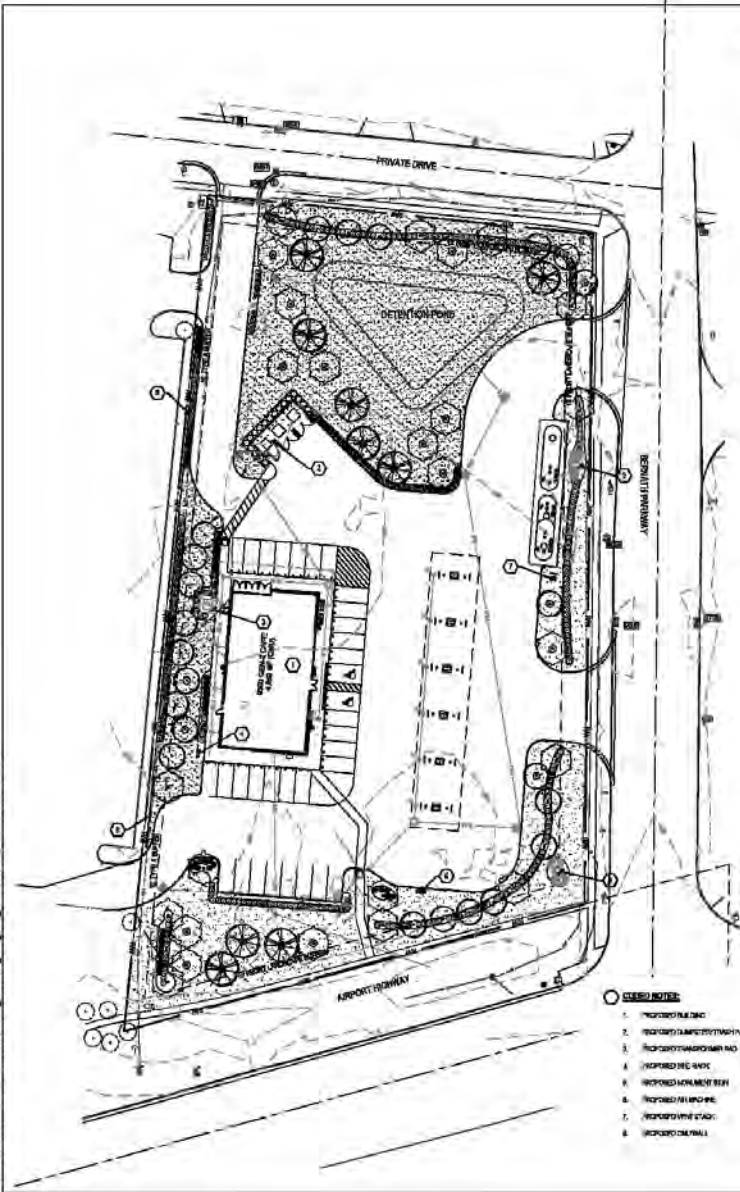
TOTAL PARKING SPACES: 33
TREES REQUIRED: 7
TREES PROVIDED: 7
SHRUBS REQUIRED: 20
SHRUBS PROVIDED: 28

PERIMETER LANDSCAPE

PERIMETER LANDSCAPE REQUIREMENTS ARE MET BY THE BUFFER LANDSCAPE REQUIREMENTS

INTERIOR SITE LANDSCAPE REQUIREMENTS

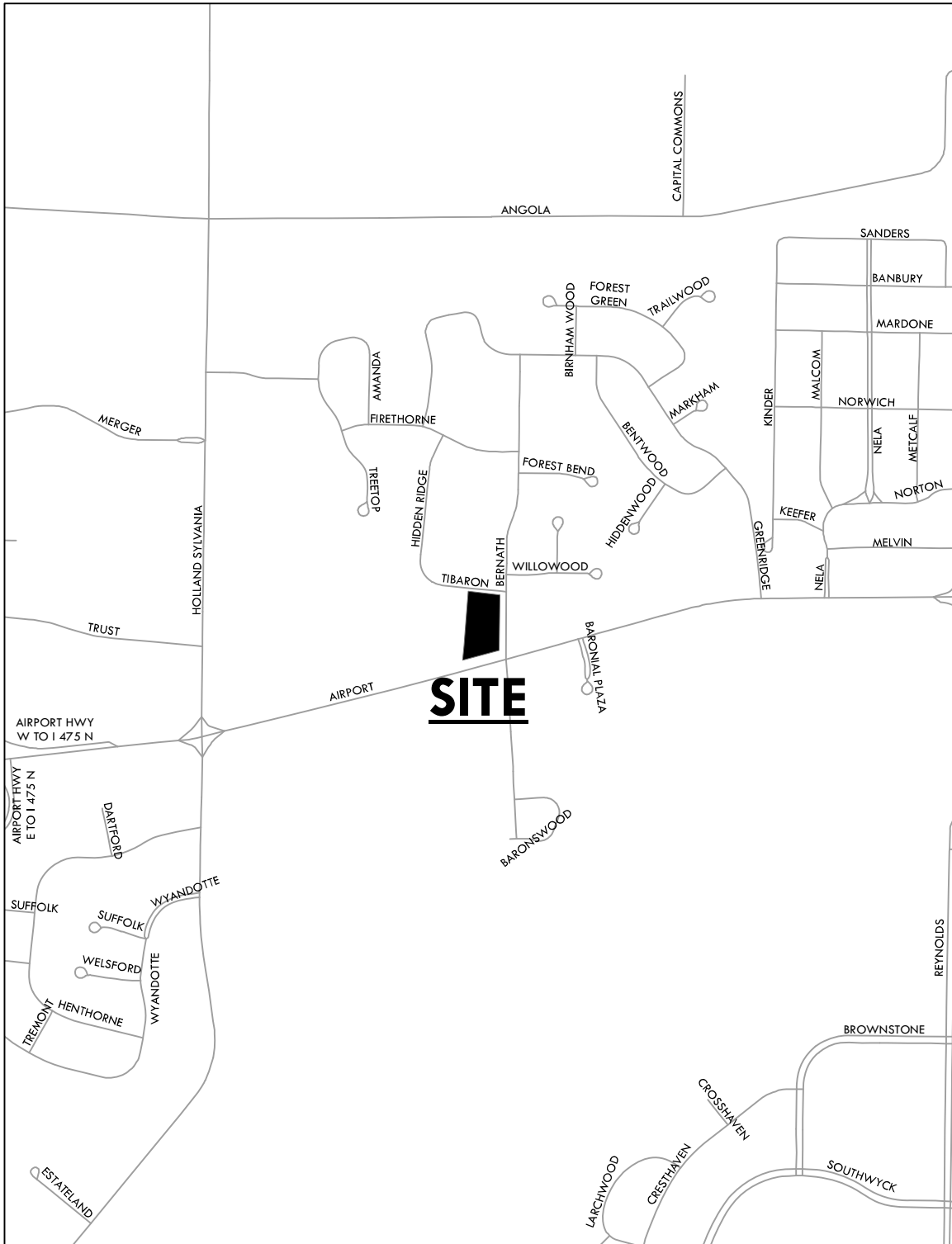
FOUNDATION PLANTINGS (COMMERCIAL)
2" CAL TREES/1000 SF OF BUILDING SPACE
FOUNDATION PLANTINGS ALONG ALL PORTIONS OF BUILDING VISIBLE FROM RIGHT-OF-WAY (IN ADDITION TO OTHER PLANTING REQUIREMENTS)
TREES REQUIRED: 5 TREES (A 100 SF OF BUILDING/1000)
TREES PROVIDED: 5 TREES (RELOCATED DUE TO SITE CONSTRAINTS)
SHRUBS REQUIRED: 57 SHRUBS (20 LF OF BUILDING PERMETER) SHRUBS
SHRUBS PROVIDED: 111 SHRUBS (SOME SHRUBS RELOCATED DUE TO SITE CONSTRAINTS)



9 - 19

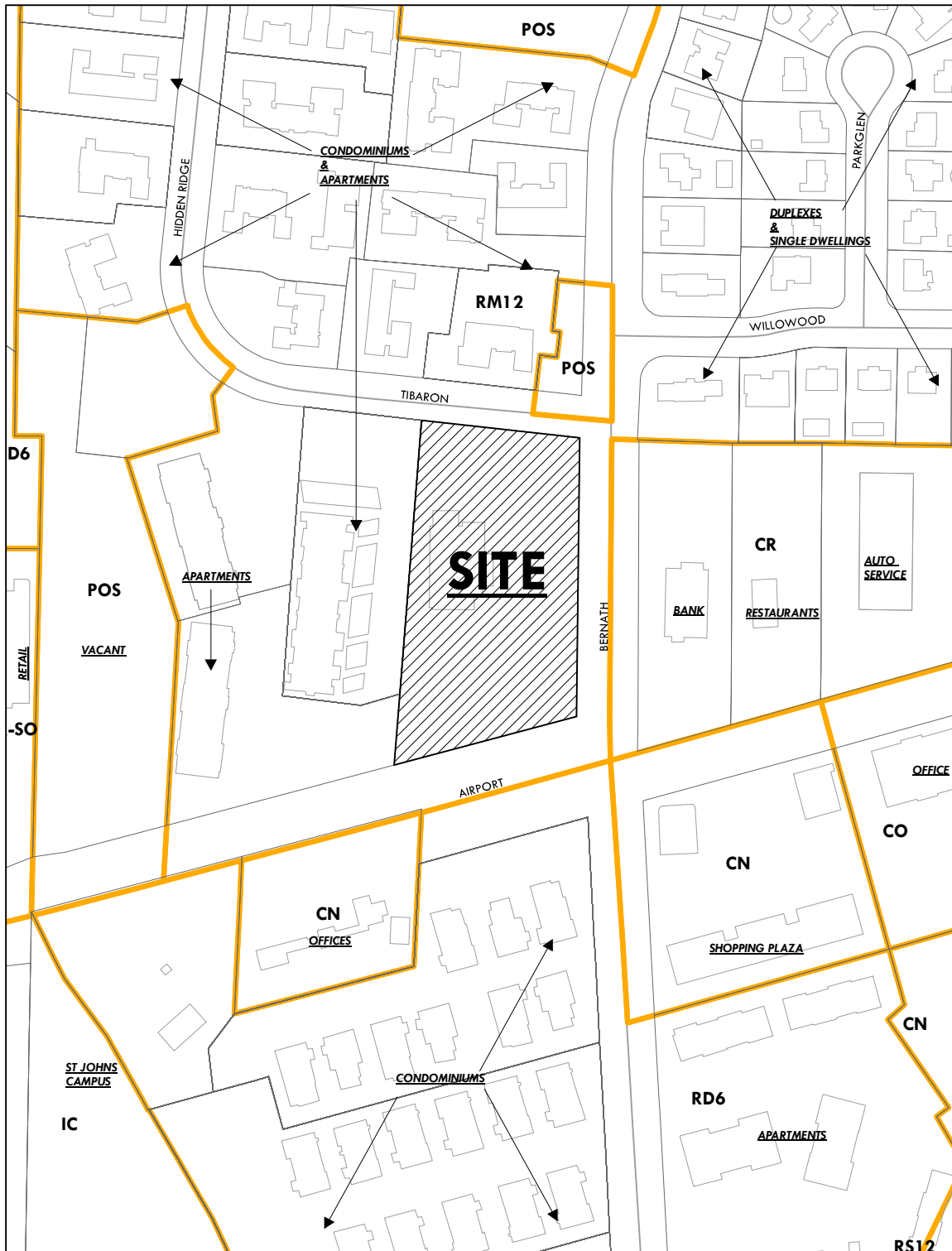
GENERAL LOCATION

PUD26-0005
ID 139



ZONING & LAND USE

Z25-0038
ID 139





Aerial image of the subject property from Plan Commission GIS.



Street view image of the subject property. Applicant is requesting the Zone Change to allow group living.

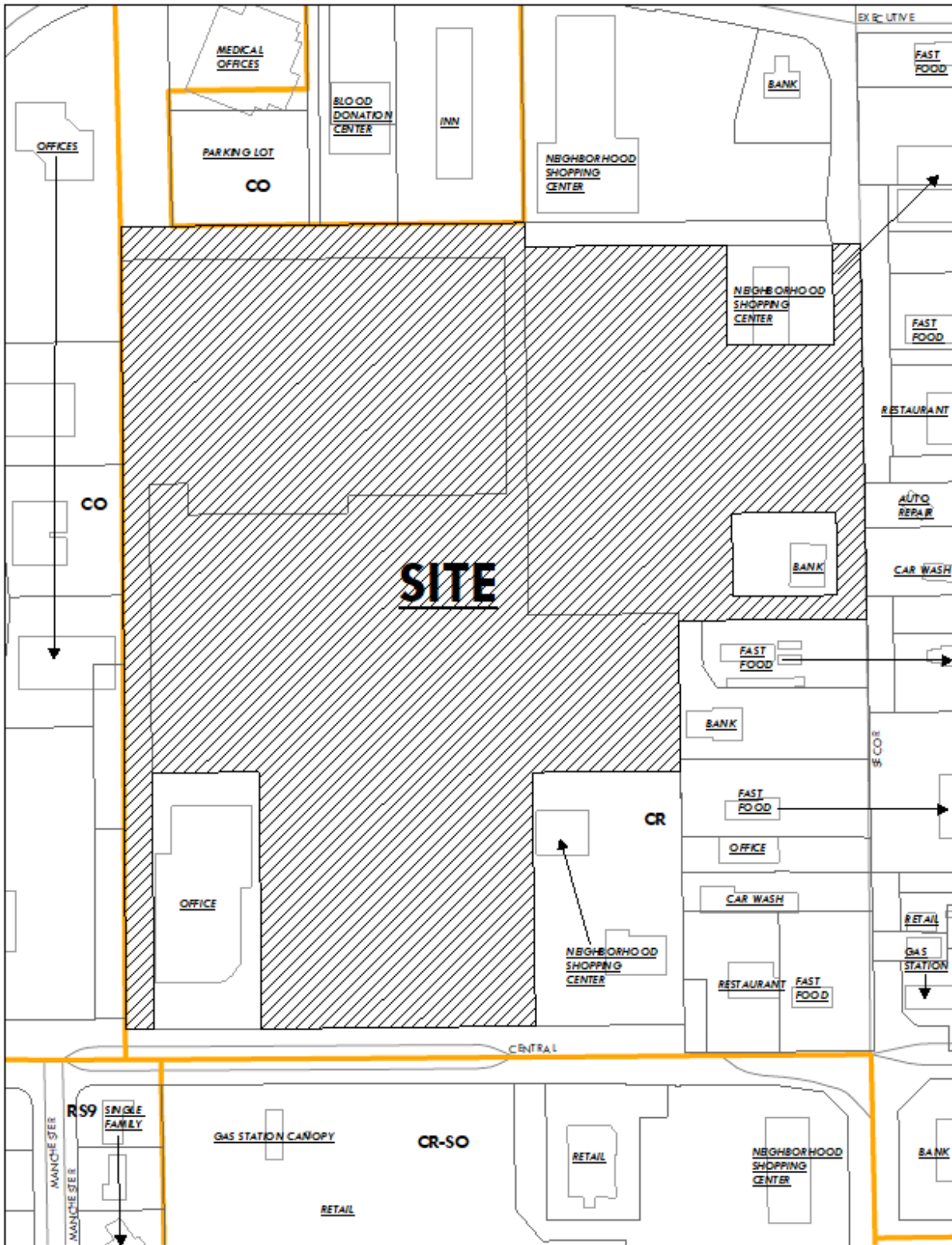
ZONING & LAND USE

Z26-0006
ID 13

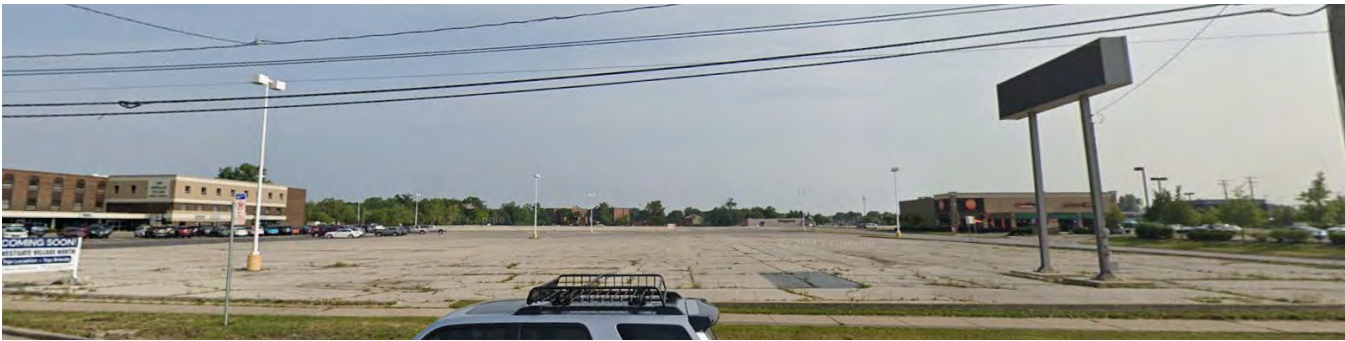




Aerial image of the property. The proposal is to rezone the property into the Shopping Center Sign Control Overlay District.



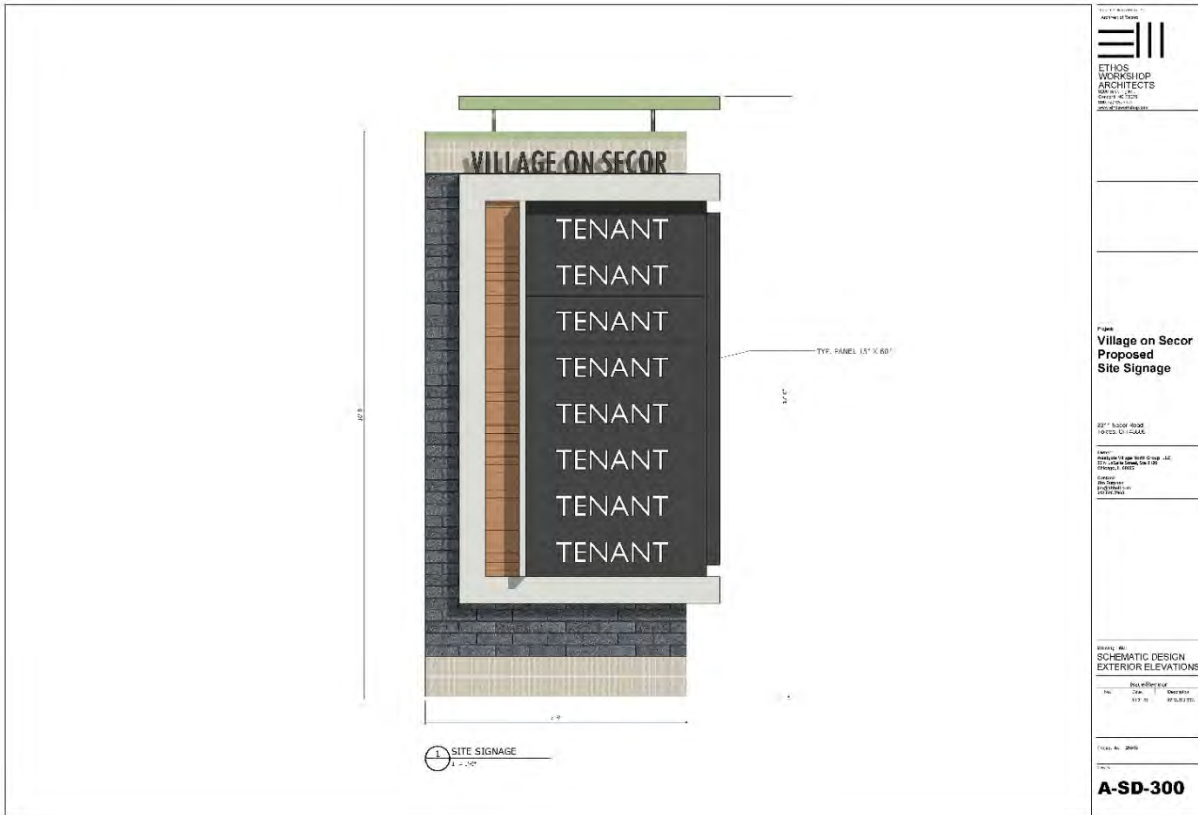
Zoning and Land Use Map of the property. The proposal is to rezone the property into the Shopping Center Sign Control Overlay District.



Street view image of the subject property from Central Avenue. The proposal is to rezone the property into the Shopping Center Sign Control Overlay District.



Street view image of the subject property from Secor Road. The proposal is to rezone the property into the Shopping Center Sign Control Overlay District.



Proposed Multi-Tenant Sign on Secor Road.



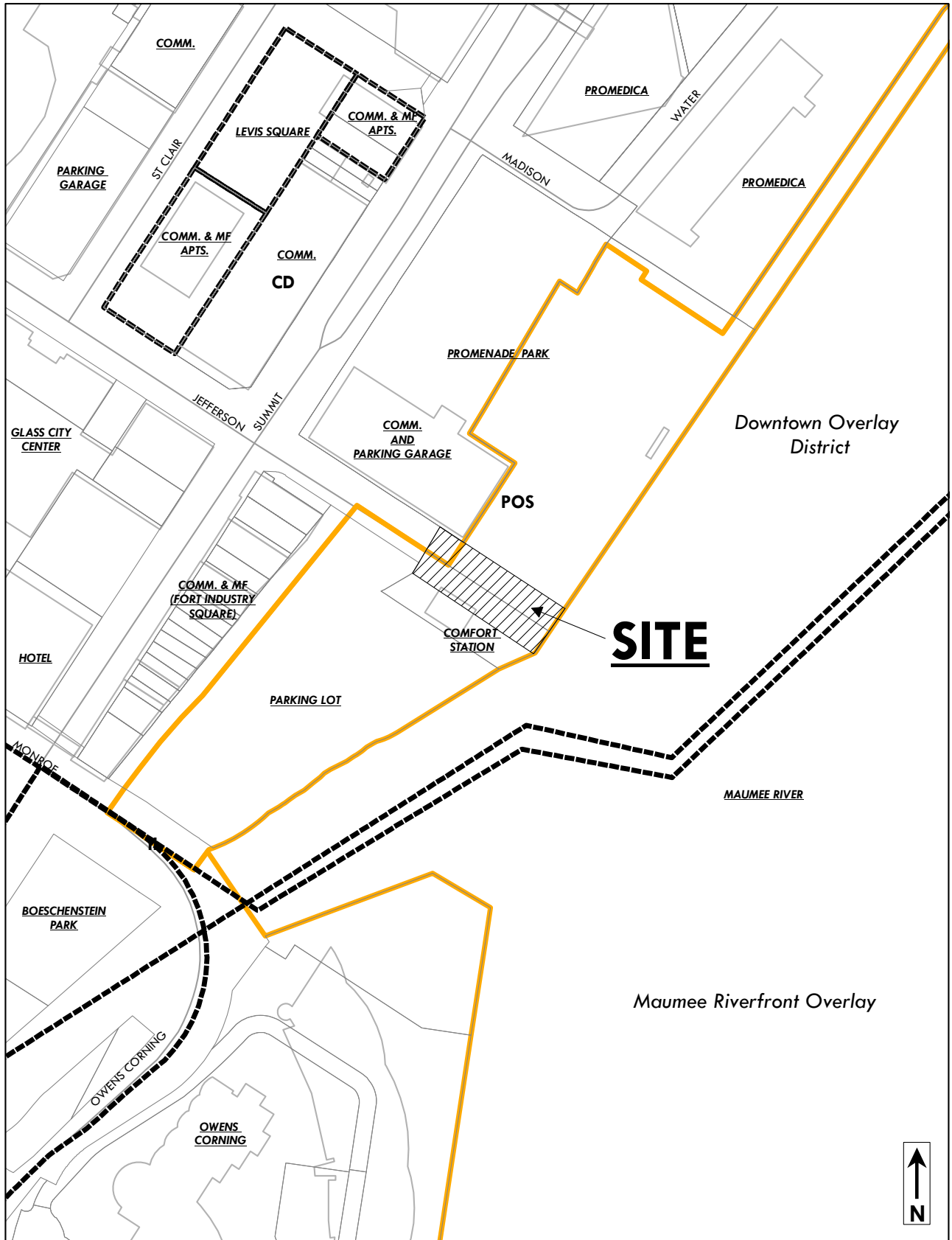
Proposed Multi-Tenant Sign on Central Avenue.

Proposed Project and Analysis: (cont'd)

The purpose of the vacation is to correct the encroachment of the Jefferson Avenue comfort station building in the right-of-way so that the building is situated on one parcel. To achieve this, while preserving vehicular access to the Maumee River, the applicant is requesting to vacate the portion of Jefferson Avenue upon which the comfort station encroaches instead of the entire right-of-way. A survey and legal description is currently being completed for this specific area. The Fire Prevention Bureau is supportive of the revised vacation request provided adequate vehicular access remains. To ensure that adequate vehicular access is maintained, approval of the vacation request is conditioned on Fire Department approval of the revised vacation survey and legal description. Staff is recommending **approval** of the vacation request.



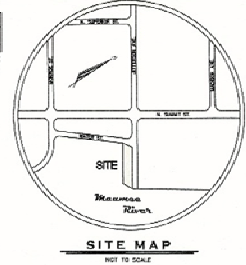
Aerial image of the subject property from Plan Commission GIS.



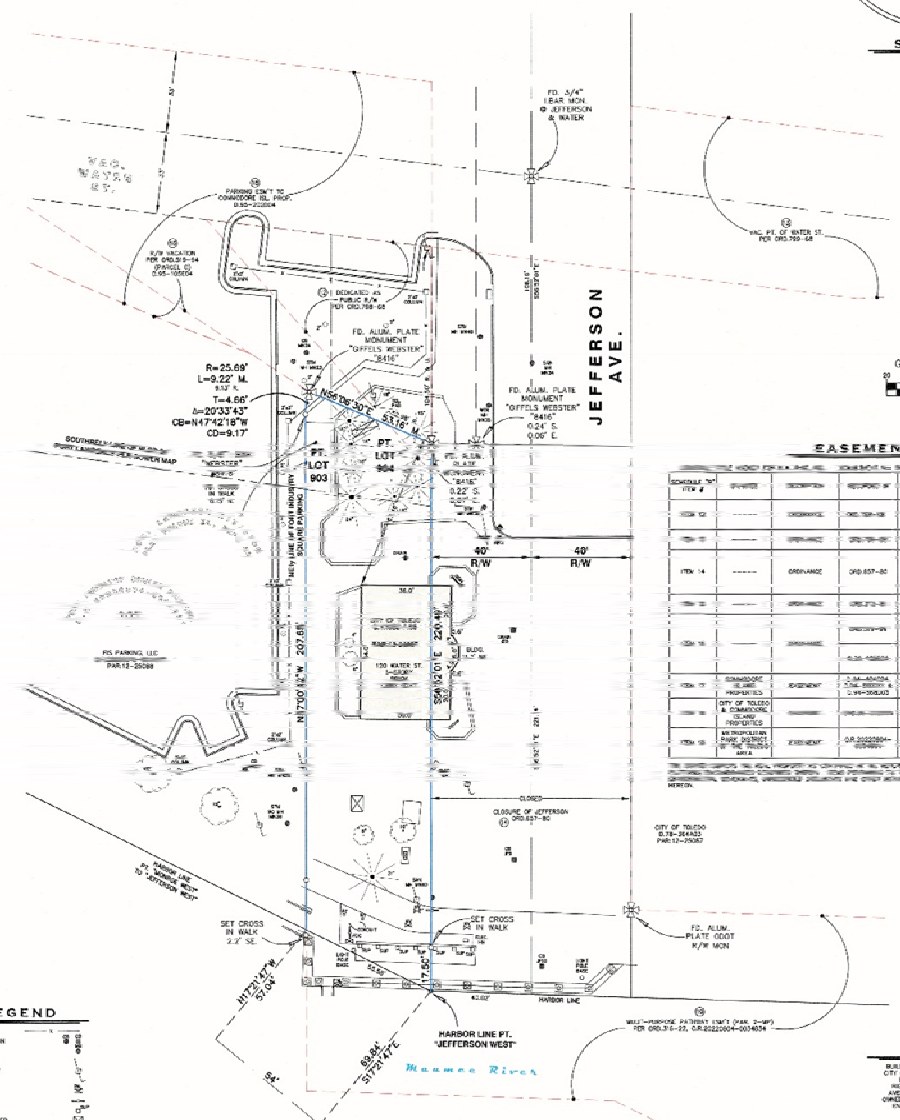
Zoning and Land Use Map of surrounding area.

Vacation Survey:

PROJECT : 54321
CONTRACT : I-130901



SITE MAP
NOT TO SCALE



EASEMENTS

| SECTION # | TYPE # | OWNER | DESCRIPTION | RECORD # | REMARKS |
|-----------|--------|------------|--|----------|---------|
| 1201-12 | 1 | UNRECORDED | 1. OCCUPATION AS PUBLIC R/W A PORTION OF LOT 904 BEHIND 50' WIDE DRIVE | | |
| 1201-12 | 2 | UNRECORDED | 2. OCCUPATION AS PUBLIC R/W A PORTION OF LOT 904 BEHIND 50' WIDE DRIVE | | |
| 1201-12 | 3 | UNRECORDED | 3. OCCUPATION AS PUBLIC R/W A PORTION OF LOT 904 BEHIND 50' WIDE DRIVE | | |
| 1201-14 | 1 | UNRECORDED | 1. OCCUPATION AS PUBLIC R/W A PORTION OF LOT 904 BEHIND 50' WIDE DRIVE | | |
| 1201-14 | 2 | UNRECORDED | 2. OCCUPATION AS PUBLIC R/W A PORTION OF LOT 904 BEHIND 50' WIDE DRIVE | | |
| 1201-14 | 3 | UNRECORDED | 3. OCCUPATION AS PUBLIC R/W A PORTION OF LOT 904 BEHIND 50' WIDE DRIVE | | |
| 1201-15 | 1 | UNRECORDED | 1. OCCUPATION AS PUBLIC R/W A PORTION OF LOT 904 BEHIND 50' WIDE DRIVE | | |
| 1201-15 | 2 | UNRECORDED | 2. OCCUPATION AS PUBLIC R/W A PORTION OF LOT 904 BEHIND 50' WIDE DRIVE | | |
| 1201-15 | 3 | UNRECORDED | 3. OCCUPATION AS PUBLIC R/W A PORTION OF LOT 904 BEHIND 50' WIDE DRIVE | | |
| 1201-17 | 1 | UNRECORDED | 1. OCCUPATION AS PUBLIC R/W A PORTION OF LOT 904 BEHIND 50' WIDE DRIVE | | |
| 1201-17 | 2 | UNRECORDED | 2. OCCUPATION AS PUBLIC R/W A PORTION OF LOT 904 BEHIND 50' WIDE DRIVE | | |
| 1201-17 | 3 | UNRECORDED | 3. OCCUPATION AS PUBLIC R/W A PORTION OF LOT 904 BEHIND 50' WIDE DRIVE | | |
| 1201-18 | 1 | UNRECORDED | 1. OCCUPATION AS PUBLIC R/W A PORTION OF LOT 904 BEHIND 50' WIDE DRIVE | | |
| 1201-18 | 2 | UNRECORDED | 2. OCCUPATION AS PUBLIC R/W A PORTION OF LOT 904 BEHIND 50' WIDE DRIVE | | |
| 1201-18 | 3 | UNRECORDED | 3. OCCUPATION AS PUBLIC R/W A PORTION OF LOT 904 BEHIND 50' WIDE DRIVE | | |
| 1201-19 | 1 | UNRECORDED | 1. OCCUPATION AS PUBLIC R/W A PORTION OF LOT 904 BEHIND 50' WIDE DRIVE | | |
| 1201-19 | 2 | UNRECORDED | 2. OCCUPATION AS PUBLIC R/W A PORTION OF LOT 904 BEHIND 50' WIDE DRIVE | | |
| 1201-19 | 3 | UNRECORDED | 3. OCCUPATION AS PUBLIC R/W A PORTION OF LOT 904 BEHIND 50' WIDE DRIVE | | |

LEGEND

| | |
|----------------------------|--------|
| FINCH | Symbol |
| COUCH SHAW | Symbol |
| WINDMILL | Symbol |
| YARD LIGHT | Symbol |
| SHED | Symbol |
| TRUCK | Symbol |
| SUPPORT | Symbol |
| TRANSFORMER | Symbol |
| UTILITY TAP | Symbol |
| UTILITY VALVE | Symbol |
| TREE - CONIFEROUS | Symbol |
| TREE - DECIDUOUS | Symbol |
| UNDEVELOPED PARKING SPACES | Symbol |
| MONUMENT - IRON | Symbol |
| MONUMENT - BRASS | Symbol |
| MONUMENT - COPPER | Symbol |
| MONUMENT - ALUMINUM | Symbol |
| MONUMENT - BRONZE | Symbol |
| MONUMENT - STEEL | Symbol |
| MONUMENT - WOOD | Symbol |
| MONUMENT - CONCRETE | Symbol |
| MONUMENT - MASONRY | Symbol |
| MONUMENT - METAL | Symbol |
| MONUMENT - OTHER | Symbol |

CERTIFICATION

TO CITY OF TOLEDO, OHIO
 I, THE SURVEYOR, HEREBY CERTIFY THAT THIS MAP OR PLAN AND THE SURVEY AND MEASUREMENTS THEREON WERE MADE BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND IN ACCORDANCE WITH THE 2021 SURVEYING STATUTES, THE RULES AND REGULATIONS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND DOES NOT VIOLATE RULES 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100.

NOTE

BLINDS AND IMPROVEMENTS ON CITY OF TOLEDO PLOTS 12-01-12 THROUGH 12-01-19 ARE TO BE CLOSED OFF AND NOT RECORDED IN THIS SURVEY. ALL OTHER IMPROVEMENTS ARE TO BE RECORDED AS SHOWN.

WARNING

CONTRACTOR SHALL VERIFY AND CORRECT ALL ERRORS AND OMISSIONS BEFORE PROCEEDING WITH CONSTRUCTION. THE SURVEYOR IS NOT RESPONSIBLE FOR ANY ERRORS OR OMISSIONS MADE BY THE CONTRACTOR.



CITY OF TOLEDO - LUCAS COUNTY - OHIO
PORT LAWRENCE DIVISION
PART OF LOTS 903 & 904
 ALTA/NSPS LAND TITLE SURVEY



Proposed Project:

The gas pumps and canopies will remain unchanged other than new signage added. The existing service station will be converted into a convenience store by removing the overhead service bay doors and renovating both the Bancroft and Reynolds Road facing building facades. In addition, the overhead door on the rear of the building will be removed and metal siding installed. One (1) main building entrance will be provided facing Reynolds Road. Vehicular parking spaces are proposed both north of the building and along the western property line with an ADA accessible parking space at the southeast corner of the building. Staff is recommending **approval** of the Special Use Permit.



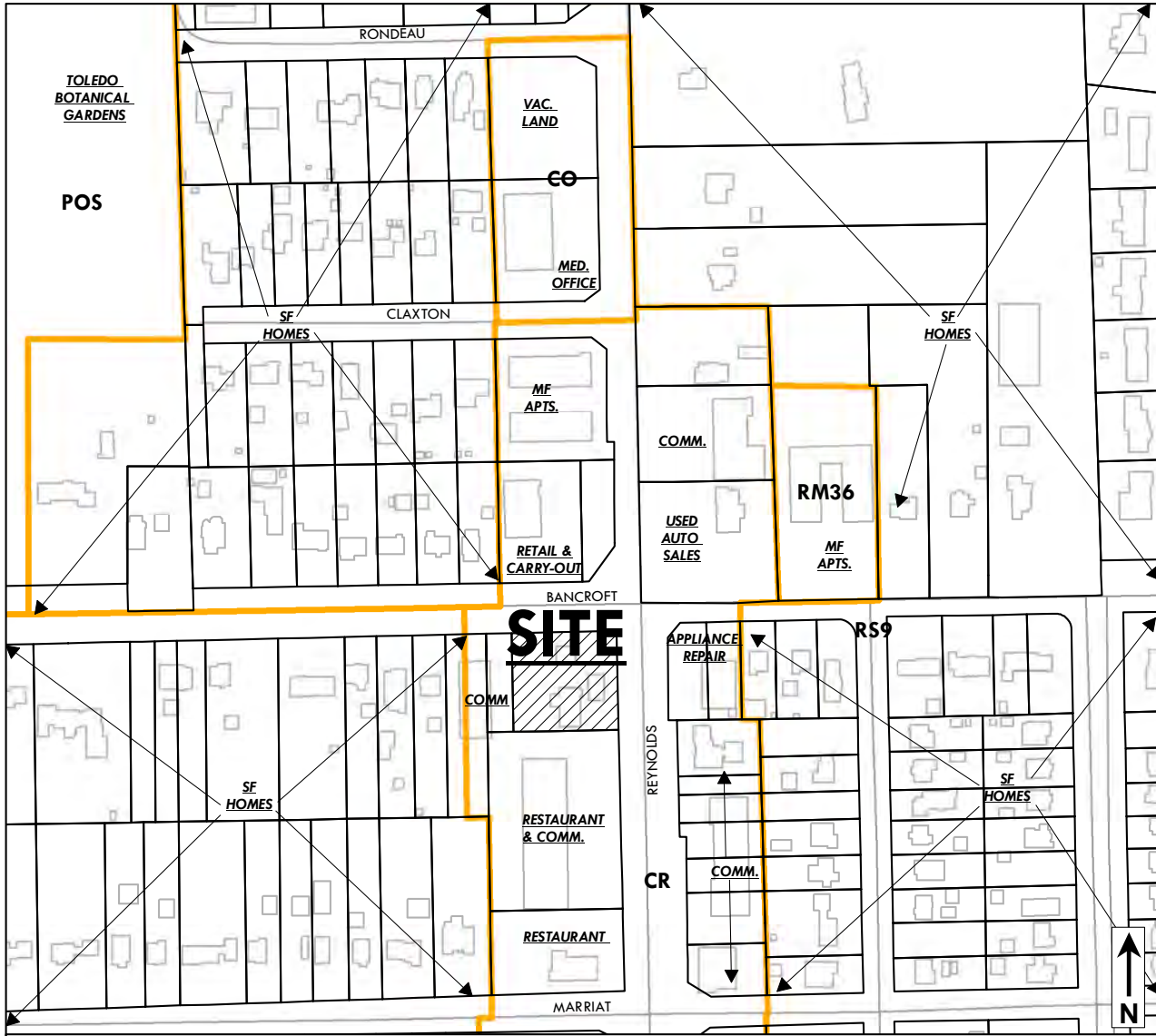
Aerial image of the subject property from Plan Commission GIS.



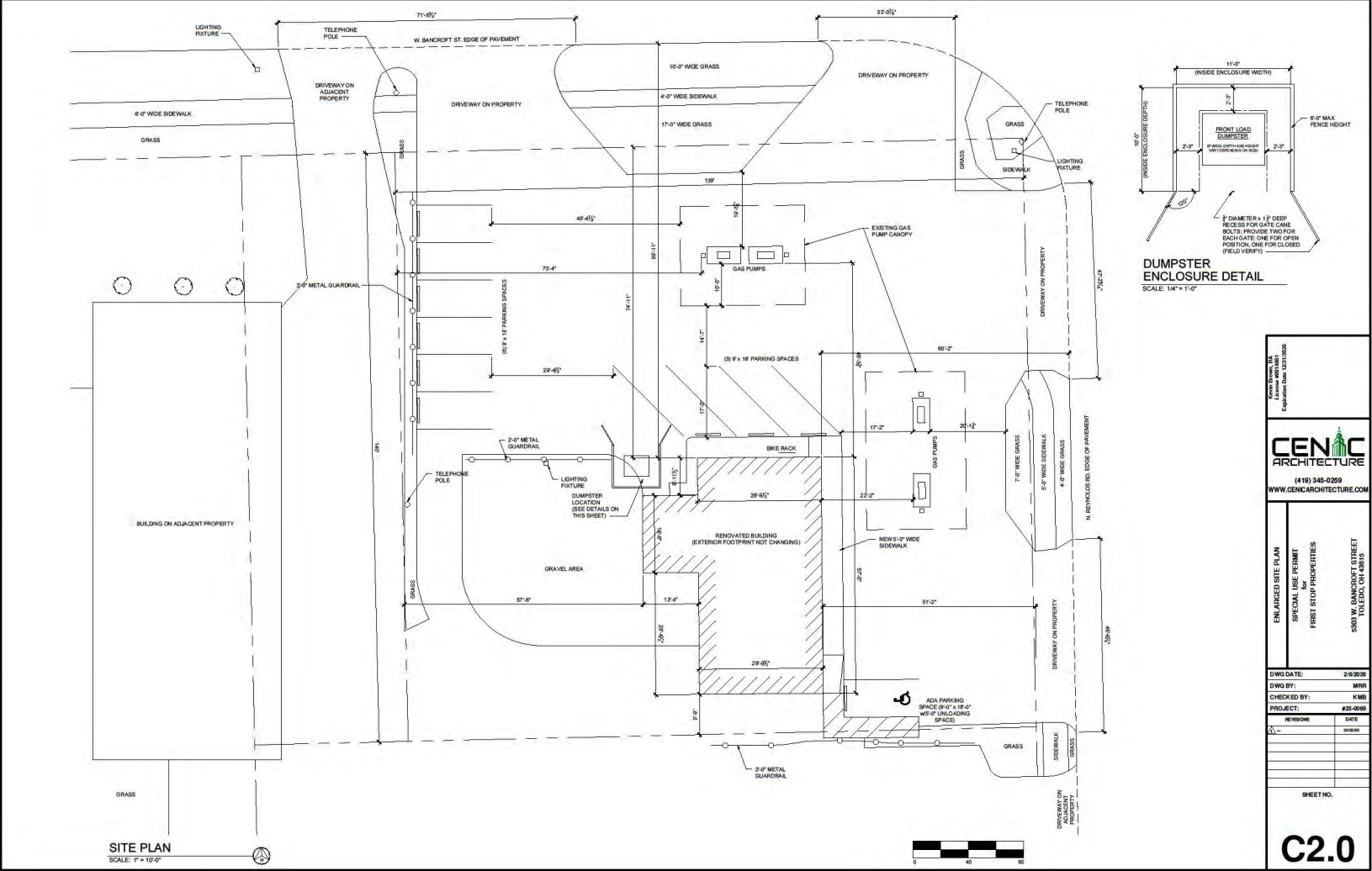
Google Street View (Sept 2025) image of the subject property from Reynolds Road.



Google Street View (Sept 2025) image of the subject property from Bancroft Street.



Zoning and Land Use Map of surrounding area.



Proposed Building Elevations:

SUP26-0008...May 14, 2026

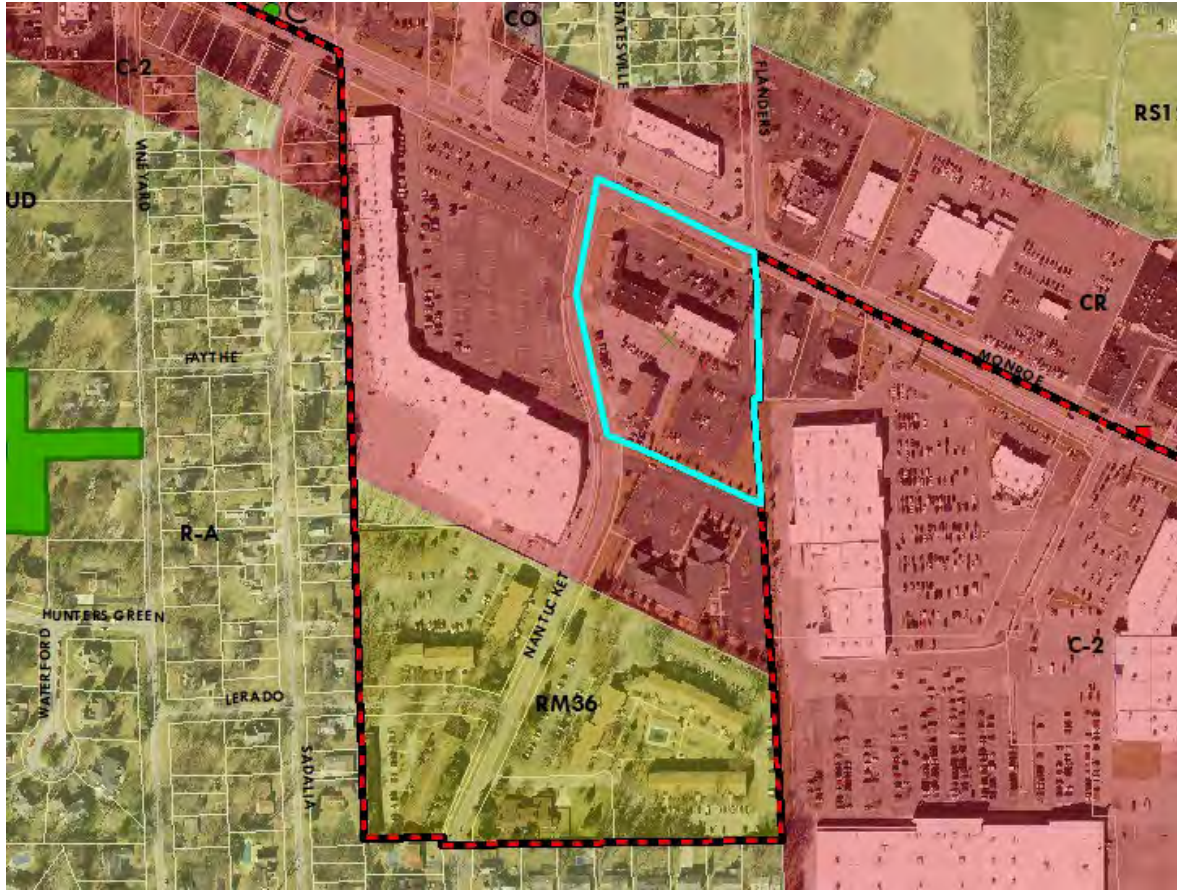
NORTH ELEVATION
SCALE: 1/4" = 1'-0"

SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

EAST ELEVATION
SCALE: 1/4" = 1'-0"

WEST ELEVATION
SCALE: 1/4" = 1'-0"

| | |
|--|----------|
| <small>REGISTERED ARCHITECT STATE OF MISSOURI EXPIRES 12/31/2025</small> CENIC ARCHITECTURE (415) 345-0269 WWW.CENICARCHITECTURE.COM | |
| ELEVATIONS SPECIAL PERMIT FOR FIRST STOP PROPERTIES 535 W. HANCOCK STREET JOPLIN, MO 64501 | |
| DWG DATE: | 2/6/2025 |
| DWG BY: | MFR |
| CHECKED BY: | KMB |
| PROJECT: | #25-0069 |
| REVISIONS | DATE |
| 1 | 2/26/25 |
| | |
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| SHEET NO. | |
| A2.0 | |



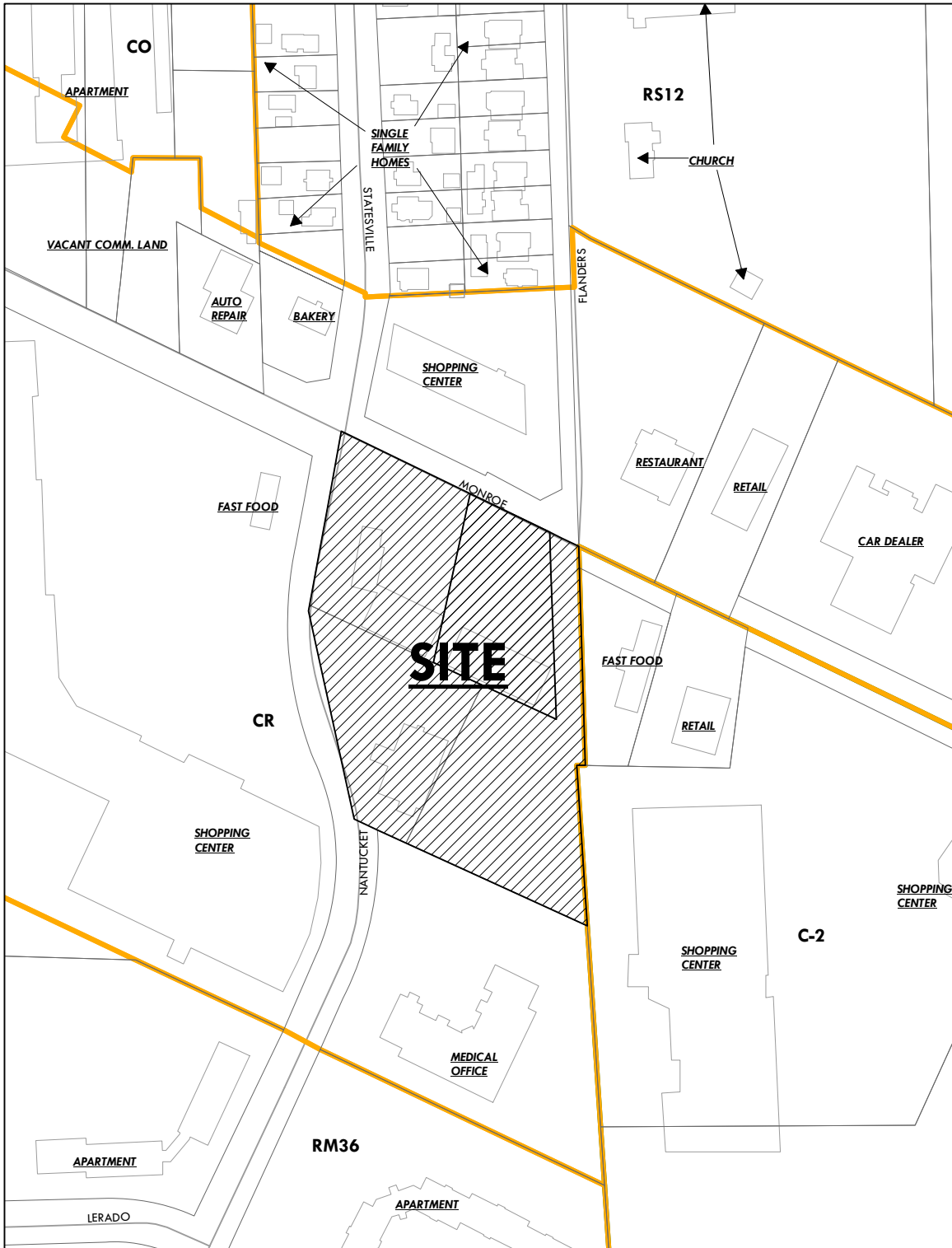
Aerial image of the subject property from Plan Commission GIS.



Google Street view image of existing shopping plaza to be demolished.

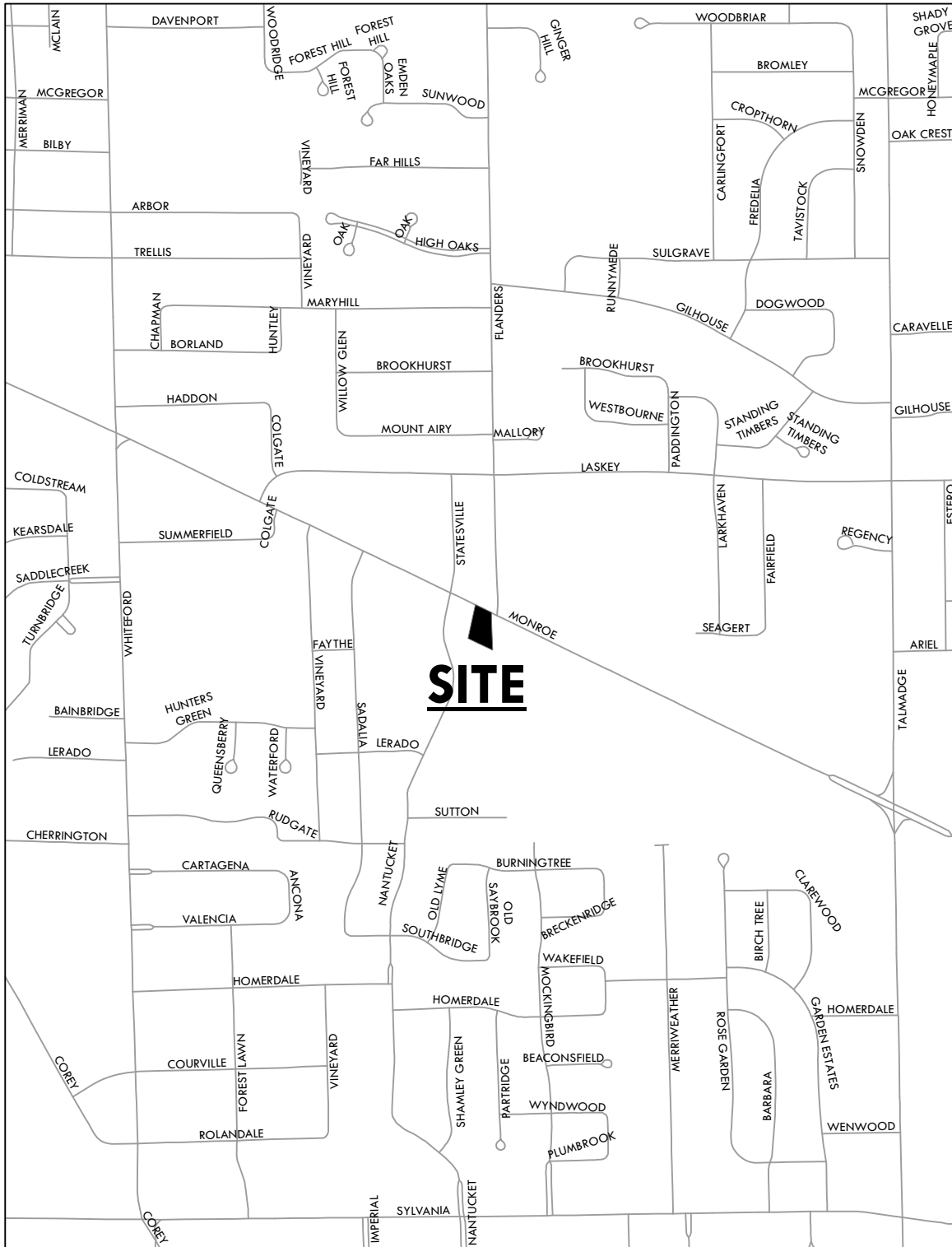
ZONING & LAND USE

SUP25-0036
ID 105



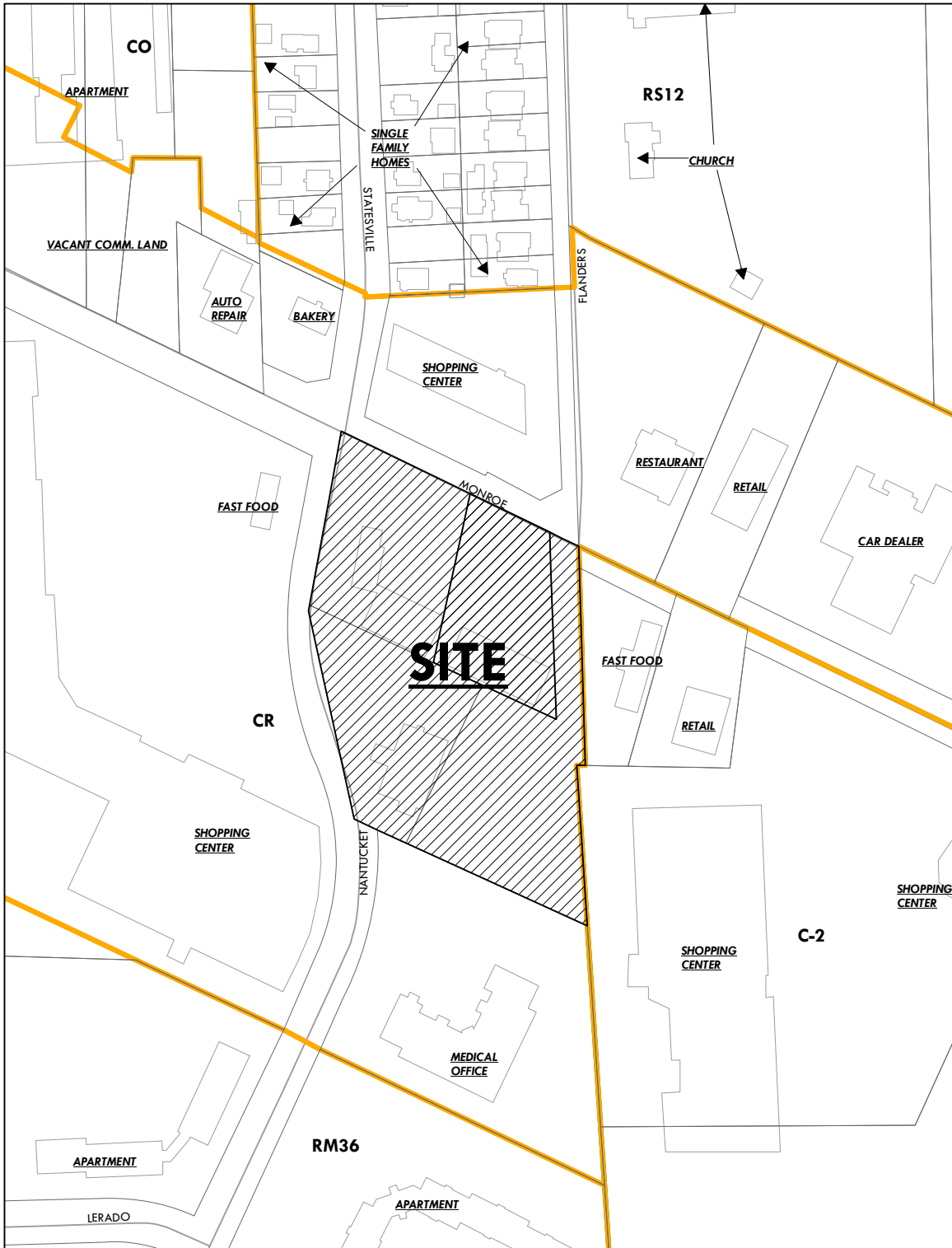
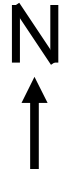
GENERAL LOCATION

SUP25-0036
ID 105



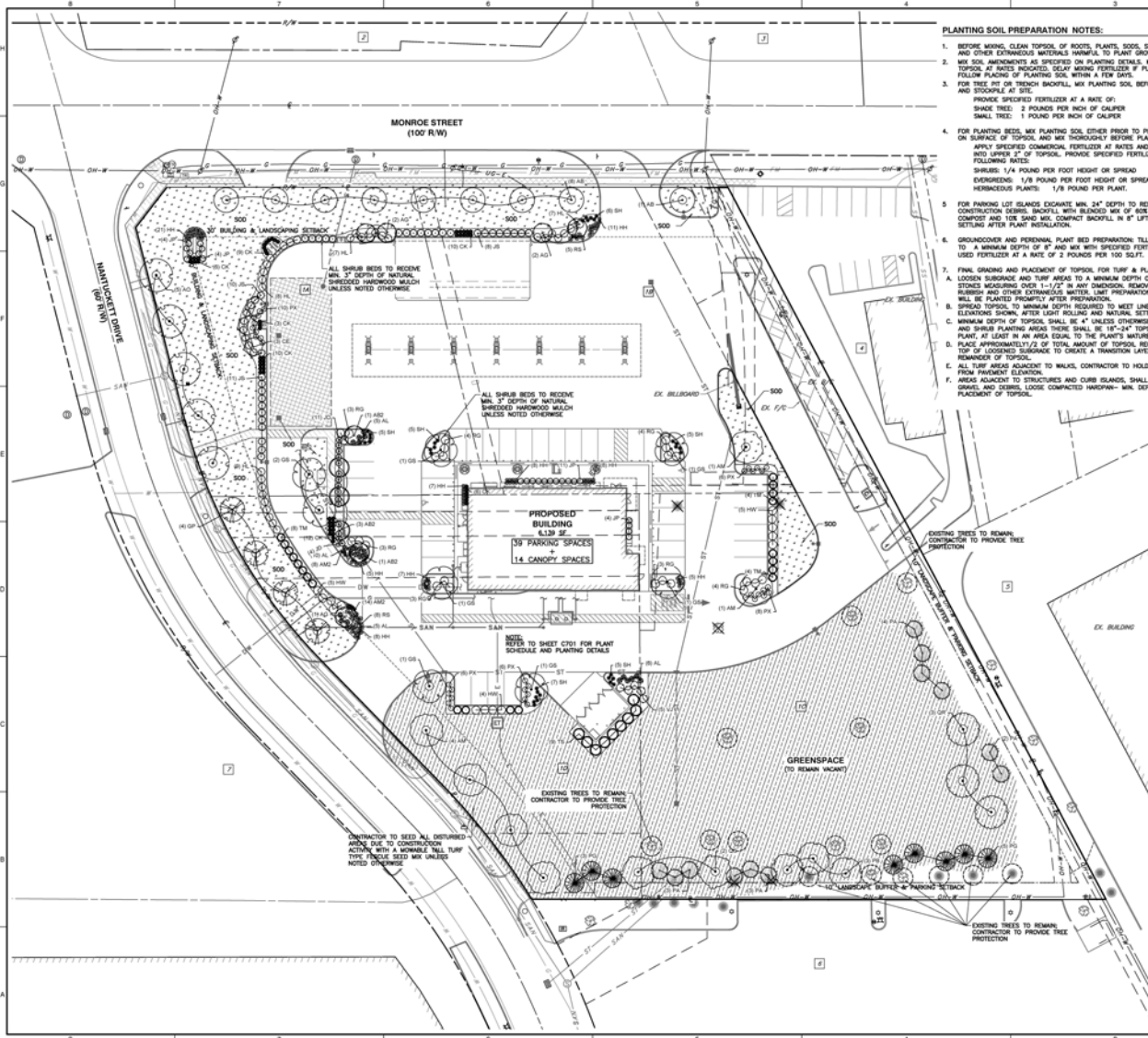
ZONING & LAND USE

SUP25-0036
ID 105



LANDSCAPE PLAN

SUP25-0036
ID 105



PLANTING SOIL PREPARATION NOTES:

1. BEFORE MIXING, CLEAN TOPSOIL OF ROOTS, PLANTS, STICKS, STONES, CLAY LUMPS, AND OTHER EXTRANEUS MATERIALS HARMFUL TO PLANT GROWTH.
2. MIX SOIL IMPROVEMENTS AS SPECIFIED ON PLANTING DETAILS. MIX FERTILIZERS WITH TOPSOIL AT RATES INDICATED. DELAY MIXING FERTILIZERS IF PLANTING DOES NOT FOLLOW PLANS OF PLANTING SOIL WITHIN A FEW DAYS.
3. FOR TREE PIT OR TRENCH BACKFILL, MIX PLANTING SOIL BEFORE BACKFILLING AND STROOKE AT SITE.
PROVIDE SPECIFIED FERTILIZER AT A RATE OF:
SHADE TREE: 2 POUNDS PER INCH OF CALIBER
SMALL TREE: 1 POUND PER INCH OF CALIBER
4. FOR PLANTING BEDS, MIX PLANTING SOIL EITHER PRIOR TO PLANTING OR APPLY ON SURFACE OF TOPSOIL AND MIX THOROUGHLY BEFORE PLANTING.
APPLY SPECIFIED COMMERICAL FERTILIZER AT RATES AND THOROUGHLY MIX INTO UPPER 3" OF TOPSOIL. PROVIDE SPECIFIED FERTILIZER AT THE FOLLOWING RATES:
SHRUBS: 1/4 POUND PER FOOT HEIGHT OR SPREAD
HERBACEOUS: 1/8 POUND PER FOOT HEIGHT OR SPREAD
HERBACEOUS PLANTS: 1/8 POUND PER PLANT.
5. FOR PARKING LOT ISLANDS EXCAVATE MIN. 24" DEPTH TO REMOVE ALL CONSTRUCTION DEBRIS. SHOVEL WITH BLENDING MIX OF SIZE TOPSOIL, 30% COMPOST AND 10% SAND MIX. COMPACT BACKFILL IN 8" LIFTS TO PREVENT SETTLING AFTER PLANT INSTALLATION.
6. GROUNDCOVER AND PERENNIAL PLANT BED PREPARATION: TILL SOIL IN BEDS TO A MINIMUM DEPTH OF 8" AND MIX WITH SPECIFIED FERTILIZERS. USED FERTILIZER AT A RATE OF 2 POUNDS PER 100 SQFT.
7. FINE GRADING AND PLACEMENT OF TOPSOIL FOR TURF & PLANTING AREAS:
A. LOOSEN SUBGRADE AND TURF AREAS TO A MINIMUM DEPTH OF 4". REMOVE STONES MEASURING OVER 1-1/2" IN ANY DIMENSION. REMOVE STICKS, ROOTS, RUBBER AND OTHER EXTRANEUS MATERIAL. PREPARATION TO AREAS WHICH WILL BE TILLED PROMPTLY AFTER PREPARATION.
B. SPREAD TOPSOIL TO MINIMUM DEPTH REQUIRED TO MEET LINES, GRADES, AND ELEVATIONS SHOWN. AFTER SPREADING AND INSURE SETTLEMENT.
C. MINIMUM DEPTH OF TOPSOIL SHALL BE 4" UNLESS OTHERWISE INDICATED. IN TREE BEDS SHRUB PLANTING AREAS THERE SHALL BE 18"-24" THICK ABOVE THE PLANT. AT LEAST IN AN AREA EQUAL TO THE PLANT'S MATURE CANOPY SIZE.
D. PLACE APPROXIMATELY 1/2 OF TOTAL AMOUNT OF TOPSOIL REQUIRED, WORK INTO TOP OF SUBGRADE SUBGRADE TO CREATE A TRANSITION LAYER AND THEN PLACE REMAINING ELEVATION.
E. ALL TURF AREAS ADJACENT TO WALKS, CONTRACTOR TO HOLD SOIL DOWN 1" FROM FINISHED ELEVATION.
F. AREAS ADJACENT TO STRUCTURES AND CURB ISLANDS SHALL BE FREE OF FILL, WASTE AND OTHER LOOSE COMPACTED HURDLE-MIN. DEPTH OF 18" BEFORE PLACEMENT OF TOPSOIL.

GENERAL LANDSCAPE NOTES:

1. ALL CONSTRUCTION METHODS AND MATERIALS MUST CONFORM TO CURRENT STANDARDS AND SPECIFICATIONS OF THE FEDERAL, STATE, COUNTY, CITY, OR LOCAL REQUIREMENTS, WHICHEVER HAS JURISDICTION.
2. CONTRACTOR SHALL REQUEST UTILITY LOCATIONS PRIOR TO COMMENCEMENT OF WORK. VERIFY ALL UTILITIES AND CONDITIONS PRIOR TO ANY EXCAVATION AT LEAST 72 HOURS PRIOR TO LANDSCAPE INSTALLATION.
3. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND ELEVATIONS IN THE FIELD PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL FIELD DIMENSIONS AND ELEVATIONS DURING THE ENTIRE CONSTRUCTION SCHEDULE. IF ANY DISCREPANCIES ARE FOUND IN THESE PLANS FROM ACTUAL FIELD DIMENSIONS, THE CONTRACTOR SHALL CONTACT THE ENGINEER IMMEDIATELY.
4. CONTRACTOR SHALL MAINTAIN ONE SET OF AS-BUILT/RECORD DRAWINGS ON THE JOB SITE DURING CONSTRUCTION FOR DISTRIBUTION TO THE OWNER AND/OR OWNER'S REPRESENTATIVE UPON COMPLETION.
5. NO CHANGES TO THE SITE LANDSCAPE LAYOUT ARE ALLOWED WITHOUT THE WRITTEN APPROVAL OF THE LANDSCAPE ARCHITECT.
6. CONTRACTOR SHALL SUPPLY ALL PLANT MATERIALS IN QUALITY AND QUANTITIES AS SPECIFIED. THE PLANTING AS SHOWN ON DRAWINGS. PLANT MATERIAL DELIVERED TO SITE SHALL BE STORED IN SECURE LOCATION NOT IN CONTACT WITH OTHER CONSTRUCTION OPERATIONS AND UNDEGRADED UNTIL TIME OF INSTALLATION.
7. ALL MATERIAL SHALL CONFORM TO THE GUIDELINES ESTABLISHED BY THE CURRENT "AMERICAN ASSOCIATION OF NURSERY STOCK, ANS 2061.1-2004", PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
8. NO PLANT SHALL BE PUT INTO THE GROUND BEFORE ROUGH GRADING HAS BEEN FINISHED AND APPROVED.
9. ALL PLANTS SHALL BE PLANTED SO THAT THE ROOT CROWN IS PLANTED AT GRADE LEVEL.
10. ALL PLANTS SHALL BE BALLED AND WRAPPED OR CONTAINER GROWN AS SPECIFIED. ALL ROOT WRAPPING MATERIAL SHALL BE ACCEPTED OR PLASTICS SHALL BE REMOVED. ALL ROOT WRAPPING MATERIAL, WASTE OF STRIPPED OR PLASTICS SHALL BE REMOVED AT TIME OF PLANTING. TREE GUARDS SHALL BE REMOVED FROM AROUND CROWN OF TREAM TO PREVENT GRADING OF TREE OR SHRUB.
11. WITH CONTAINER GROWN STOCK, THE CONTAINER SHALL BE REMOVED AND THE CONTRACTOR SHALL BE CUT THROUGH THE SURFACE IN TWO VERTICAL LOCATIONS.
12. CONTRACTOR TO REMOVE ALL LANDSCAPE DEBRIS FROM PLANTING OPERATIONS FROM THE PROJECT SITE. NO OPEN BURNING SHALL BE PERMITTED ON SITE.
13. THE DAY PRIOR TO PLANTING, THE LOCATION OF ALL TREES AND SHRUBS SHALL BE STAKED AND PLANTING BOUNDARIES OBTAINED FOR APPROVAL BY THE OWNER.
14. THE LANDSCAPE CONTRACTOR SHALL REFER TO CONTRACT SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.
15. THE LANDSCAPE CONTRACTOR SHALL GUARANTEE NEW PLANT MATERIAL THROUGH ONE (1) CALENDAR YEAR FROM THE TIME OF SUBSTITUTION. COMPLETION OF PROJECT. AT THE END OF THIS PERIOD, ANY PLANT MATERIAL DEEMED UNSATISFACTORY BY LANDSCAPE ARCHITECT SHALL BE REPLACED AT NO ADDITIONAL COST TO OWNER.
16. IF THERE IS A DISCREPANCY BETWEEN THE PLANS AND THE PLANT SCHEDULE, THE PLANS SHALL TAKE PRECEDENCE.
17. CONTRACTOR SHALL REPAIR ANY DAMAGE TO PROPERTY FROM PLANTING OPERATIONS AT NO COST TO OWNER.
18. STAKES AND OR GUY WIRES SHALL BE REMOVED AFTER ONE (1) YEAR OF INSTALLATION.
19. ALL EXISTING LANDSCAPING SHALL BE MAINTAINED DURING CONSTRUCTION. ANY MATERIAL DEEMED DEAD OR UNSATISFACTORY BY LANDSCAPE ARCHITECT WILL BE REPLACED EQUIVALENT IN SIZE AND SHAPE AT NO COST TO OWNER.
20. IF PLANT SPECIES SPECIFIED ARE FOUND TO BE UNAVAILABLE OR NOT IN SUFFICIENT QUANTITIES AT TIME OF PLANTING, THE CONTRACTOR MAY SUBSTITUTE SPECIES UPON WRITTEN APPROVAL OF LANDSCAPE ARCHITECT.
21. LANDSCAPING SHALL BE SUBSTANTIALLY INSTALLED PRIOR TO THE ISSUANCE OF OCCUPANCY PERMIT FOR THE PROJECT. PROTECTION ON LOT OWNER PERMITTING, OR, IN THE EVENT OF ADVERSE WEATHER CONDITIONS, WITHIN WRITEN (60) DAYS FOLLOWING THE COMMENCEMENT OF WORK. SUCCESSIVE PLANTING SEASON FOLLOWING ISSUANCE OF OCCUPANCY PERMIT.
22. ALL LANDSCAPE PLANTINGS TO BE MAINTAINED BY CONTRACTOR FOR 90 DAYS FOLLOWING FINAL INSPECTION BY LANDSCAPE ARCHITECT. MAINTENANCE TO INCLUDE WATERING, WEED REMOVAL, MULCHING, MOING AND ALL OTHER NECESSARY OPERATIONS REQUIRED FOR PROPER ESTABLISHMENT OF PLANTINGS AND TURF AREAS.

ADDITIONAL SITE SPECIFIC LANDSCAPE NOTES:

1. ALL SHRUB PLANTING AREAS TO RECEIVE MIN. 3" DEPTH OF NATURAL DOUBLE BREZEDDED HARDWOOD MULCH. COLOR: BLACK. CONTRACTOR TO PROVIDE A SAMPLE FOR APPROVAL.
2. CONTRACTOR TO PROVIDE A SPINE CUT EDGE PER DETAIL ALONG ALL SHRUB BEDS. EDGING SHOULD OVERLAP SUFFICIENTLY TO ALLOW PROPER SEPARATION.
3. CONTRACTOR TO PROVIDE 100% 18" WIDE STRIPES OF RESISTANT MONOLYPROPYLENE LANDSCAPE FABRIC OR APPROVED EQUAL AND STAPLES TO ALL PLANT BEDS AND EACH TREE RING.
4. CONTRACTOR TO PROVIDE AN APPROVED PRE-EMERGENT HERBICIDE TO ALL PLANTING AREAS AT A RATE SPECIFIED BY MANUFACTURER.
5. CONTRACTOR TO PROVIDE A FULLY AUTOMATED IRRIGATION SYSTEM WITH CONTROLLER AND APPROVED MONITORING SENSORS LOCATED TO RECEIVE TRIGGER RAINFALL. IRRIGATION SYSTEM SHALL COMPLY WITH ALL STATE/CITY/LOCAL PLUMBING CODE REQUIREMENTS. VERIFY LOCATION OF WATER METER AND POINT OF CONNECTION. ALL PLANTINGS SHALL HAVE 100% FULL COVERAGE WITH PROPERLY PROVIDED ONE BUBBLER FOR TREES OR DRIP/PERIMETER MECHANISMS FOR SHRUBS/PERENNIAL AND GRASS/TURF AREAS.
6. THE IRRIGATION SYSTEM WILL OPERATE WITH SERVICE VALVE OPENED FOR TURF AREAS AND SHRUB PLANTING AREAS WHERE EFFICIENCY OF SEPARATION IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY OPERATING/DYNAMIC PRESSURES.
7. CONTRACTOR TO DISCONNECT THE LOCATION OF SERVICE BUBBLER PREVENTER FOR THE IRRIGATION AND AUTOMATIC CONTROLLER WITH WRITEN/NOTICE. ALL CONTROLLERS SHALL BE IN A LOCKABLE BOX AND BE EQUIPPED WITH AN AUTOMATIC RAIN SHUT-OFF DEVICE.
8. THE IRRIGATION SYSTEM WILL BE DESIGNED TO MANAGE THE APPLICATION OF WATER TO INTERLUDE AREAS, ADJACENT PROPERTIES, NON-IRRIGATED AREAS, WALKS, ROADS OR STRUCTURES.
9. CONTRACTOR TO MAINTAIN ONE SET OF AS-BUILT/RECORD DRAWINGS IN THE FIELD DURING CONSTRUCTION FOR DISTRIBUTION TO THE OWNER UPON COMPLETION.



- LEGEND**
- (Symbol: Circle with dot) EXISTING TREE TO BE PRESERVED
 - (Symbol: Circle with 'X') EXISTING TREE TO BE REMOVED

SUBMITTAL RECORD

| NO. | DATE | DESCRIPTION |
|-----|------|-------------|
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8800 Lyra Drive
Suite 300
Columbus, OH 43240
Ph: 614.540.6633
www.cccinc.com



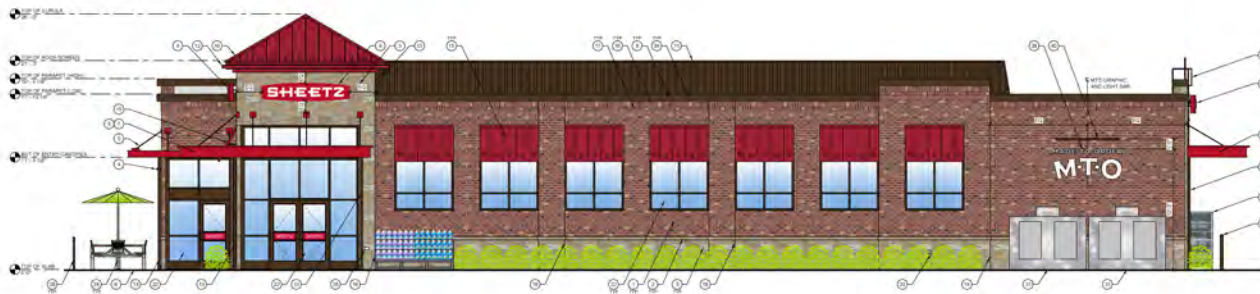
SKILKINGOLD DEVELOPMENT, LLC
SHEET CONVENIENCE STORE
SPECIAL USE PERMIT
5530 MONROE STREET
CITY OF TOLEDO
LUCAS COUNTY, OHIO

LANDSCAPE PLAN
DRAWING NO: NOVEMBER 2025 (REVISED)
SCALE: 1/8" = 1'-0" (AS SHOWN)
DATE: 11-20-25
PROJECT NO: 25-286
APPROVED BY: *[Signature]*
C700
SHEET 3 OF 4

1-17

FRONT & LEFT ELEVATION

SUP25-0036
ID 105



1 FRONT ELEVATION
10' x 11' 0"

TYPICAL EXTERIOR ELEVATION NOTES:

- 1. ALL LETTERS SHOWN ABOVE WINDOW HEADS SHOULD BE REPRODUCED AND TO BE CENTERED ON THE WINDOW UNLESS NOTED OTHERWISE.
- 2. ALL MATERIALS SHOWN BETWEEN TWO COLORS OR FINISHES ARE TO BE CONTAINED EQUALLY.

- 3. MATERIALS SHOWN FOR STONE SHALL BE OF A MEDIUM TO LIGHT TONE, WITH A MIXED COLOR PALETTE, AND SHALL MATCH THE COLOR OF THE STONE.

EXTERIOR ELEVATION NOTES:

- 1 BRICK UNIFORM COLOR AND CONTINENTAL BRICK COMPANY SEE WINDOW SPEC
- 2 CLAY STONE WALL COLOR DARK GRAY/RED SEE WINDOW SPEC
- 3 REINFORCED CONCRETE MASONRY FINISH COLOR DARK GRAY/RED SEE WINDOW SPEC
- 4 EXTERIOR LIGHT FIXTURE REFER TO ELECTRICAL DRAWINGS
- 5 ARCHITECTURAL CORNER COLUMN METAL SEE WINDOW THROUGHOUT WINDOW SPEC
- 6 BRICK FINISH WALLS
- 7 LIGHTING FIXTURE BRICK MOUNTING ATTACHMENT
- 8 METAL LETTERING COLOR DARK BRONZE
- 9 WALL AND WINDOW FINISHES DARK GRAY/RED SPEC
- 10 BRICKWORK FINISH METAL COLOR DARK BRONZE
- 11 ROOF EQUIPMENT SCREEN COLOR DARK BRONZE
- 12 GUTTER COLOR TO MATCH BRICK COLOR
- 13 DOWNSPOUT COLOR DARK BRONZE
- 14 DRIVE THRU WINDOW (IF APPLICABLE)
- 15 METAL SIGN MOUNTING BRACKET TO BE MEDIUM TO LIGHT TONE, WITH A MIXED COLOR PALETTE, AND SHALL MATCH THE COLOR OF THE STONE
- 16 BRICK UNIFORM COLOR AND CONTINENTAL BRICK COMPANY SEE WINDOW SPEC
- 17 BRICK UNIFORM COLOR AND CONTINENTAL BRICK COMPANY SEE WINDOW SPEC
- 18 CONCRETE AND WALL FINISHES DARK GRAY/RED SPEC
- 19 STEEL ROOF LACER AND DRAINAGE SYSTEM COLOR DARK BRONZE
- 20 FINISHES SHOWN ON WALL EQUIPMENT FINISHES DARK GRAY/RED SPEC
- 21 DOWNSPOUT SCUPPER
- 22 GUTTER COLOR DARK GRAY/RED SPEC
- 23 DOWNSPOUT SCUPPER
- 24 DOWNSPOUT SCUPPER FINISHES DARK GRAY/RED SPEC
- 25 DOWNSPOUT SCUPPER FINISHES DARK GRAY/RED SPEC
- 26 ELECTRICAL RECEPTACLES REFER TO ELECTRICAL DRAWINGS
- 27 ELECTRICAL EQUIPMENT REFER TO ELECTRICAL DRAWINGS
- 28 WINDOW AND FRAME COLOR DARK BRONZE
- 29 EMERGENCY WATER CONNECTION REFER TO ELECTRICAL DRAWINGS
- 30 SENSORS ALARM PANEL EXTERIOR WITH EXPANDED FRAMEWORK COLOR DARK BRONZE
- 31 FINISHES SHOWN
- 32 WINDOW LOCKER
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- 60 WINDOW LOCKER



2 LEFT ELEVATION
10' x 11' 0"



A WALL MOUNTED 'SHEETZ' BUILDING SIGN
10' x 11' 0"



B WALL MOUNTED 'M-T-O' DECAL
10' x 11' 0"



C WALL MOUNTED '24/7 DRIVE THRU' BUILDING SIGN
10' x 11' 0"

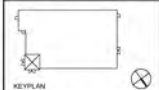
Convenience Architecture
and Design P.C.
351 Shertz Way, Clayburg, PA 16025
phone: 814-239-8013
email: info@shertz.com
web site: www.shertz.com

PROJECT NAME:
NEW SHEETZ STORE
TOLEDO
NANTUCKET DRIVE
161 E. Nantucket Drive
and Monroe Street
Toledo, OH 43623

OWNER:
SHEETZ, INC.
5700 SIXTH AVE.
ALTOONA, PA 15002

CONSULTANT

PROFESSIONAL



KEY PLAN

| NO. | DATE | DESCRIPTION |
|-----|------------|--------------------|
| 1 | 09.11.2025 | ISSUE |
| 2 | 09.11.2025 | DESIGN NO. 21474 |
| 3 | 09.11.2025 | DESIGNER: GAMB |
| 4 | 09.11.2025 | REVIEWER: BUN |
| 5 | 09.11.2025 | VERSION: 0109_V1.0 |

EXTERIOR ELEVATIONS

A200

PRELIMINARY ELEVATIONS

1-18

REAR & RIGHT ELEVATION

SUP25-0036
ID 105



3 REAR ELEVATION

- TYPICAL EXTERIOR ELEVATION NOTES:**
- 1. ALL LIGHTS UNDER ROOF AND UNDER BELLOUS COULDS OR BRACKETS ARE TO BE CENTERED ON THE DOOR OR WINDOW UNLESS NOTED OTHERWISE.
 - 2. ALL LIGHTS EQUIPPED WITH TWO COORDS OR WINDOWS ARE TO BE CENTERED EQUALLY.
 - 3. EXTERIOR SEALANT FOR STONE SHALL COMPLY WITH BEST PRACTICE FOR SEALANT AND SHALL MATCH THE COLOR OF THE STONE.
- EXTERIOR ELEVATION KEYNOTES:**
- 1. BRICK UNIFORM COLOR AND IN CONTEMPORARY BRICK COMPANY SEE WINDOW SPEC.
 - 2. CLIFF STONE FULL COLOR GRAY GRASSING SEE WINDOW SPEC.
 - 3. REINFORCED CONCRETE MASONRY VENEER COLOR GRAY GRASSING SEE WINDOW SPEC.
 - 4. EXTERIOR LIGHT FIXTURE REFER TO ELECTRICAL DRAWING.
 - 5. ARCHITECTURAL CROWN COLOR METAL RED FINISH THROUGHOUT WINDOW FRAME.
 - 6. BRICK FINISH UNIFORM.
 - 7. LIGHTS SURVEYED BASED ON SHAW ATTACHMENT.
 - 8. METAL SLOPING COLOR DARK BRONZE.
 - 9. METAL AND STEEL BRACKETS SHALL BE METAL FINISH.
 - 10. BRICKWORK SHALL MATCH COLOR AND FINISH.
 - 11. ROOF EQUIPMENT SCREENS COLOR DARK BRONZE.
 - 12. GUTTER COLOR TO MATCH CUPOLA COLOR.
 - 13. DOWNSPOUT COLOR DARK BRONZE.
 - 14. DRIVE THRU WINDOW (IF APPLICABLE).
 - 15. METAL AT WINDOW SHALL MATCH AT 1/8" FINISH BRICKWORK ASSEMBLY.
 - 16. BRICK SILLER COLOR SHALL BE IN CONTEMPORARY BRICK COMPANY SEE WINDOW SPEC.
 - 17. BRICK WINDOW COURSE COLOR SHALL BE IN CONTEMPORARY BRICK COMPANY SEE WINDOW SPEC.
 - 18. CONCRETE JOINT SHALL MATCH WINDOW SPEC.
 - 19. STEEL ROOF LACER AND DRAINAGE COLOR DARK BRONZE.
 - 20. BRICKWORK FINISH SHALL BE IN CONTEMPORARY BRICK COMPANY SEE WINDOW SPEC.
 - 21. DOWNSPOUT COLOR DARK BRONZE.
 - 22. DOWNSPOUT SCUPPER.
 - 23. DOWNSPOUT CONNECTION SYSTEM SEE AIA.
 - 24. EXTERIOR LIGHTS SHALL BE REFER TO PLUMBING DRAWING.
 - 25. EXTERIOR FINISHES.
 - 26. ELECTRICAL RECEPTACLES REFER TO ELECTRICAL DRAWING.
 - 27. ELECTRICAL EQUIPMENT REFER TO ELECTRICAL DRAWING.
 - 28. HIR DOOR AND FRAME COLOR DARK BRONZE.
 - 29. EMERGENCY WATER CONNECTION REFER TO PLUMBING DRAWING.
 - 30. SCHEDULE 40X4X1/2 GALV. EXTERIOR WATER EXPOSURE FASTENERS COLOR DARK BRONZE.
 - 31. PIPING LOCKER.
 - 32. MS MECHANICALS.
 - 33. METALLURGY.
 - 34. STEEL BRACKETS COLOR DARK BRONZE.
 - 35. ROOF FLASHING.
 - 36. DOWNSPOUT COLOR DARK BRONZE.
 - 37. DOWNSPOUT CONNECTION SYSTEM SEE AIA.
 - 38. DOWNSPOUT COLOR DARK BRONZE.
 - 39. DOWNSPOUT CONNECTION SYSTEM SEE AIA.
 - 40. DOWNSPOUT CONNECTION SYSTEM SEE AIA.
 - 41. DOWNSPOUT CONNECTION SYSTEM SEE AIA.
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 - 47. DOWNSPOUT CONNECTION SYSTEM SEE AIA.
 - 48. DOWNSPOUT CONNECTION SYSTEM SEE AIA.
 - 49. DOWNSPOUT CONNECTION SYSTEM SEE AIA.
 - 50. DOWNSPOUT CONNECTION SYSTEM SEE AIA.



4 RIGHT ELEVATION



5 CUPOLA ELEVATION FROM ROOF



6 CUPOLA ELEVATION FROM ROOF

Convenience Architecture
and Design P.C.
351 Sheetz Way, Clayburg, PA 16025

phone 814 238-8013
email info@sheetz.com
web site www.sheetz.com

PROJECT NAME:
NEW SHEETZ STORE

TOLEDO
NANTUCKET DRIVE

161 Of Nantucket Drive
and Marine Street
Toledo, OH 43623

OWNER:
SHEETZ, INC.
5700 SIXTH AVE.
ALTOONA, PA 15002

CONSULTANT

PROFESSIONAL

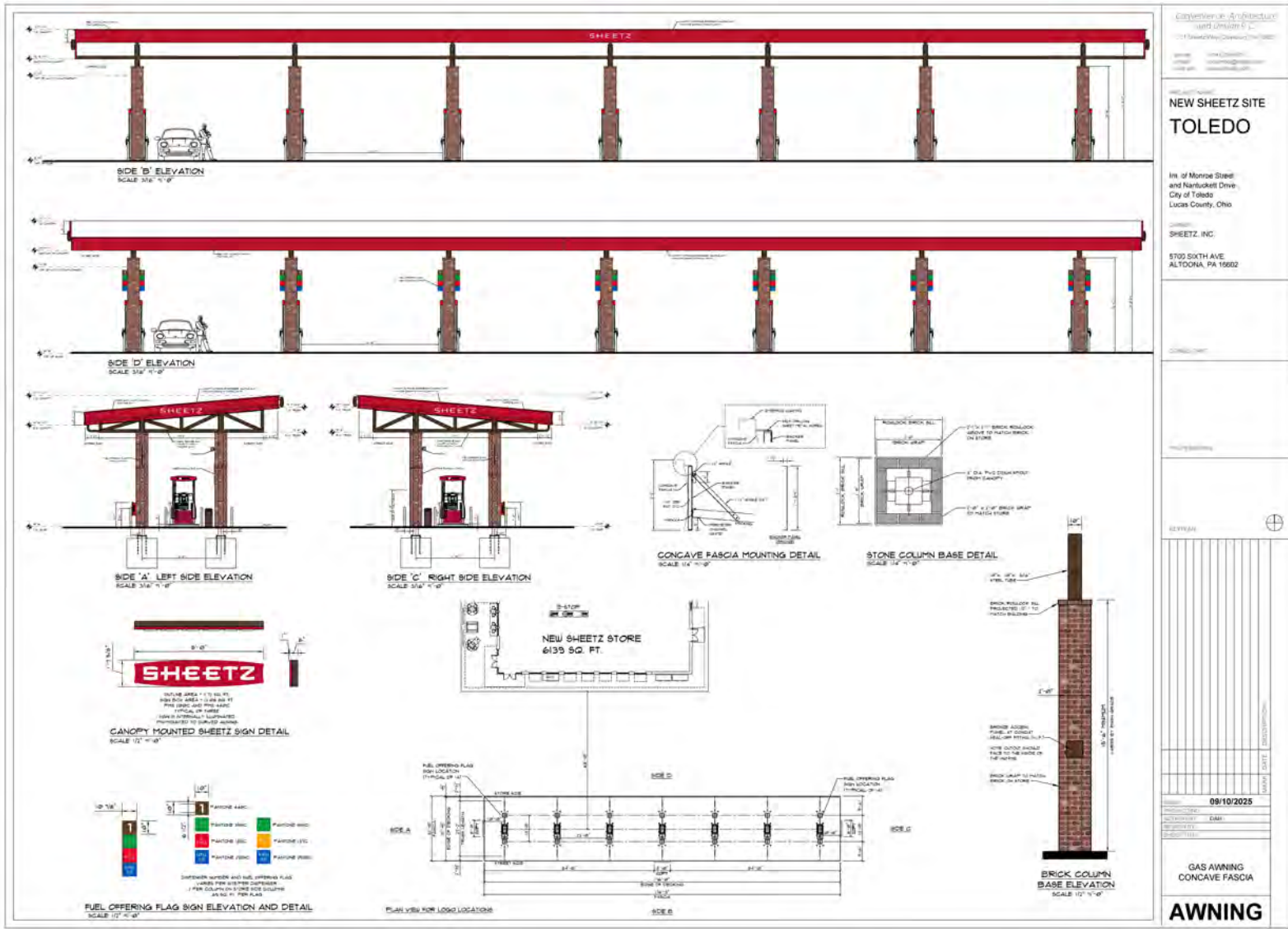
KEYPLAN

| | | |
|---------------------|------------|------------------------|
| DATE | | PRELIMINARY ELEVATIONS |
| REVISION | | |
| ISSUE | 09.11.2025 | |
| DWG NO. | 21474 | |
| DESIGNED BY | AMM | |
| REVIEWED BY | BJM | |
| VERSION | 0130 v1.8 | |
| EXTERIOR ELEVATIONS | | |
| A201 | | |

1-19

AWNING ELEVATION

SUP25-0036
ID 105



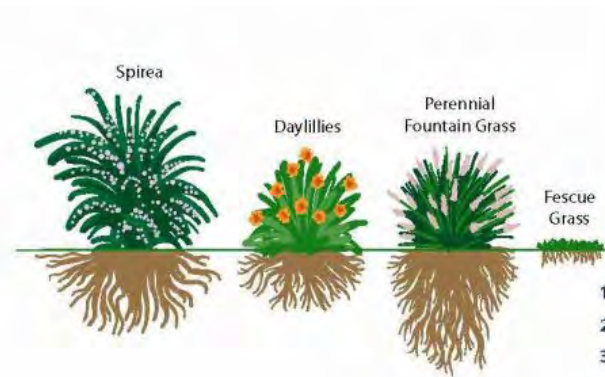
1-20



Promote Native Plants

Explore the many benefits of native plantings and evaluate how these species can help improve the regional ecosystem.

Non-Native Plants



Native Plants



Native plants provide many different ecological and environmental benefits. One of the most important purposes they serve is being more drought-tolerant than non-native plants, which reduces maintenance costs and increases longevity. They are also better at filtering stormwater runoff, which helps reduce pollution in our public waterways.¹ These abilities are due to the extensive and deep root systems of native plants (as shown in the image above) which slow down runoff, reduce soil erosion, and absorb contaminated water before it gets into the nearby waterways.²

[Root systems of Non-Native vs. Native Mid-Atlantic Plants. Source: National Wildlife Federation]

This resiliency is important in the Great Lakes region, where water quality issues are intensified by agricultural practices and climate change.³

The benefits of native plants go beyond water quality. They are more resistant to pests and diseases, resulting in less maintenance, fewer pesticides, and lower cost to property owners.⁴

As discussed in **Improve Tree Canopy**, the Urban Heat Island Effect has a greater impact on the areas of disinvestment with a lack of street trees and green space within urban environments. Using native species, along with other trees and plants, can help reduce the impacts of increased surface temperatures, particularly in central city areas with high amounts of impervious surfaces or pavement (e.g., shopping centers).

Native plants provide a better habitat for wildlife, which is important for maintaining biodiversity and the overall ecosystem's health. Native plants support a wider range of pollinators and other beneficial insects better than traditional lawns and non-native plants.⁴ Creating wildlife habitat can help address biodiversity species loss due to climate change issues. Nature-based climate solutions, which are actions that both benefit wildlife and mitigate climate change, are being widely adopted in many communities. Native plants have a large role to play in these solutions by locking up planet-warming carbon dioxide, as well as providing food and shelter for insects, bees, and butterflies, all while making a neighborhood more attractive and livable.⁵



[Ruby-throated hummingbird feeding on cardinal flower. Source: Wild Ones Oak Openings⁹]



These habitats can also generate tourism and support businesses in communities that are known for their natural attractions, like northwest Ohio’s “Biggest Week in Birding” (see **Promote Recreational Opportunities**).

Zoning regulations and land use policies have a role in promoting the use of native plantings and pollinator plant species. Specific regulations for native plantings vary from city to city. Some cities require a certain percentage of all landscaping areas to be planted with native plants, or in specific areas, such as street trees or boulevard medians.

Two examples of municipal zoning codes that have implemented landscaping regulations for native plant species are Sanibel, Florida and Schaumburg, Illinois. In the City of Sanibel, new developments and redevelopments require a minimum 75% of native vegetation to be used in all landscaping, with the remaining 25% restricted to only noncompeting plant species. In the City of Schaumburg, tree and shrub species in designated natural landscaped areas must be 100% native plant species.⁶

Following the success of these cities, the City of Toledo could require that native plantings be included for all new developments. Percentage-based metrics or minimum dimensional standards could be implemented as a clear guideline for developments to install native plantings.

Another strategy to assist in the installation and use of native plantings is to adopt a best practices guide to improve overall plant health. The guide would also help ensure the landscaped areas with native plants would be intentional, orderly, and aesthetically pleasing to residents and visitors.

Additionally, the cities with native plant regulations often have specific lists of native plants that are approved for use in landscaping, in order to reduce uncertainty in the design process. The City could partner with local experts and conservation organizations to determine an official City of Toledo native plantings list.



Promote Native Plants



[Monroe Street United Methodist Church – Sacred Grounds rain garden.
Source: Wild Ones Oak Openings]

Supporting Other Themes:



1 Gunpowder Riverkeeper. July 6, 2021. It's a Great Time to Take the Native Plant Pledge! Available [here](#).

2 The Importance of Native Plants, Clean Water Education Partnership (CWEP). Available [here](#). Accessed October 2023.

3 Bagne, K; Ford, P.; Reeves, M. November 2012. Grasslands. U.S. Department of Agriculture, Forest Service, Climate Change Resource Center. Available [here](#).

4 East Multnomah Soil & Water Conservation District. What's so great about native plants? Available [here](#). Accessed October 2023.

5 Shephard, M. Xerces Society, April 2022. For Wildlife And Humans, Native Plants Are A Key To Climate Resilience. Available [here](#).

6 Sustainable Development Code. Native Plants/Vegetation. Available [here](#). Accessed October 2023

Strategies:

The City will seek to accomplish the following action steps to Promote Native Plants:

- » Adopt a planting “best practices” guide to improve plant health.
- » Require native plantings be included as part of the landscaping for all new developments.
- » Partner with local experts to determine a City of Toledo official planting list.
- » Promote the importance of greenspace in neighborhoods and expand availability (e.g., impact on mental health, crime reductions, and overall well-being).

Approved Street Tree List

Revised May 27, 2015 and June 11th, 2015.

| <u>Common Name</u> | <u>Scientific Name</u> |
|------------------------|--|
| Trident Maple | <i>Acer buergeranum</i> |
| Hedge Maple | <i>Acer campestre</i> |
| Red/Silver Maple Cross | <i>Acer x freemanii</i> |
| Amur Maple | <i>Acer ginnala</i> |
| Bigtooth Maple | <i>Acer grandidentatum</i> |
| Paperbark Maple | <i>Acer griseum</i> |
| Japanese Maple | <i>Acer palmatum</i> |
| Norway Maple | <i>Acer platanoides</i> |
| Planetree Maple | <i>Acer psuedoplatanus</i> |
| Red Maple | <i>Acer rubrum</i> |
| Sugar Maple | <i>Acer saccharum</i> |
| Tartarian Maple | <i>Acer tartaricum</i> |
| Shantung Maple | <i>Acer truncatum</i> |
| Three Flower Maple | <i>Acer triflorunt</i> |
| Alder | <i>Alnus spp</i> |
| European Hornbeam | <i>Carpinusbetulus</i> |
| Bluebeech | <i>Caprinus caroliniana</i> |
| Hackberry | <i>Celtis occidentalis</i> |
| Japanese Katsuratree | <i>Cercidiphyllum japonicum</i> |
| Redbud | <i>Cercis canadensis</i> |
| Yellowwood | <i>Cladrastis kentukea</i> |
| Flowering Dogwood | <i>Cornus florida</i> |
| Turkish Filbert | <i>Corylus colurna</i> |
| Thicket Hawthorn | <i>Crataegus punctata var. inermis</i> |
| Hardy Rubber Tree | <i>Eucommia ulmoides</i> |
| Korean Evodia | <i>Evodia danielii</i> |
| American Beech | <i>Fagus grandifolia</i> |
| European Beech | <i>Fagus sylvatica</i> |
| Ginkgo (male) | <i>Ginkgo biloba</i> |
| Honeylocust | <i>Gledistsia triacanthos var. inermis</i> |
| Caroline Silverbell | <i>Halesia carolina</i> |
| Goldenraintree | <i>Koelreutaria paniculata</i> |
| Japanese Larch | <i>Larix kaempferi</i> |
| Tuliptree | <i>Liriodendron tulipifera</i> |
| Amur Maackia | <i>Maackia amurensis</i> |
| Crabapple | <i>Malus spp</i> |
| Crabapple | <i>Malus seiboldii</i> |
| Dawn Redwood | <i>Metasequoia glyptostroboides</i> |
| Black Tupelo | <i>Nyssa sylvatica</i> |
| Amur Corktree | <i>Phellodendron amurense</i> |
| Amur Chokeberry | <i>Prunus maackia</i> |
| Flowering Cherry | <i>Prunus spp</i> |
| Chokecherry | <i>Prunus virginiana</i> |

Approved Street Tree List (cont'd)

Revised May 27, 2015 and June 11th, 2015.

| <u>Common Name</u> | <u>Scientific Name</u> |
|---------------------|------------------------------|
| Sawtooth Oak | <i>Quercus acutissima</i> |
| White Oak | <i>Quercus alba</i> |
| Swamp White Oak | <i>Quercus bicolor</i> |
| Scarlet Oak | <i>Quercus coccinea</i> |
| Hungarian Oak | <i>Quercus frainetto</i> |
| Shingle Oak | <i>Quercus imbricaria</i> |
| Chestnut Oak | <i>Quercus michauxii</i> |
| Chinkapin Oak | <i>Quercus muehlenbergii</i> |
| English Oak | <i>Quercus robur</i> |
| English Oak | <i>Quercus robur x alba</i> |
| Red Oak | <i>Quercus rubra</i> |
| Shumard Oak | <i>Quercus shumardii</i> |
| Black Oak | <i>Quercus velutina</i> |
| Korean Mt. Ash | <i>Sorbus alnifolia</i> |
| Meinichii Mt. Ash | <i>Sorbus meinichii</i> |
| Pekin Lilac | <i>Syringa pekinensis</i> |
| Pondcypress | <i>Taxodium ascendens</i> |
| Baldcypress | <i>Taxodium distichum</i> |
| Basswood | <i>Tilia americana</i> |
| Littleleafed Linden | <i>Tilia cordata</i> |
| Silver Linden | <i>Tilia tomentosa</i> |
| Crimean Linden | <i>Tilia x euchlora</i> |
| Lacebark Elm | <i>Ulmus parvifolia</i> |

Prohibited Street Tree List

Revised May 27, 2015 and June 11th, 2015.

| <u>Common Name</u> | <u>Scientific Name</u> |
|------------------------------|--------------------------------|
| Box Elder | <i>Acer regundo</i> |
| Silver Maple | <i>Acer saccharinum</i> |
| Tree of Heaven | <i>Ailanthus altisimo</i> |
| Shadblow Serviceberry | <i>Amelchier canadensis</i> |
| Sweet Birch | <i>Betula lenta</i> |
| River Birch | <i>Betula nigra</i> |
| Paper Birch | <i>Betula paperifera</i> |
| Catalpa | <i>Catalpa speciosa</i> |
| Cottonwood (Alder Buckthorn) | <i>Frangula almus</i> |
| White Ash | <i>Fraxinus americana</i> |
| European Ash | <i>Fraxinus excelsior</i> |
| Black Ash | <i>Fraxinus nigra</i> |
| Green Ash | <i>Fraxinus pennsylvanica</i> |
| Blue Ash | <i>Fraxinus quadrangulata</i> |
| Kentucky Coffeetree | <i>Gymnocladus dioicus</i> |
| Common Walnut | <i>Juglans regia</i> |
| Black Walnut | <i>Juglans nigra</i> |
| Sweetgum | <i>Liquidambar styraciflua</i> |
| White Mulberry | <i>Morus alba</i> |
| Black Mulberry | <i>Morus nigra</i> |
| Ironwood | <i>Ostrya virginiana</i> |
| London Planetree | <i>Platanus x acerifolia</i> |
| White Poplar | <i>Populus alba</i> |
| Black Poplar | <i>Populus nigra</i> |
| Callery Pear | <i>Pyrus calleryana</i> |
| Burr Oak | <i>Quercus macrocarpa</i> |
| Willow | <i>Salix alba</i> |
| Chinese Elm | <i>Ulmus parvifolia</i> |



City Council Zoning & Planning Committee

10. Review of outstanding studies within the Plan Commission.
11. Review of upcoming moratorium expiration dates.