



City Council Zoning & Planning Committee

Theresa Morris, Chair

Adam Martinez, Vice Chair

Wednesday, February 18, 2026

One Government Center 1st Floor 4:00 P.M.

1. Request for vacation of the 15' alley running east-west adjacent to Lots 17 and 18; and the southern 55 feet of Lot 17 in Clifton Park Plat (V-435-25).
The Plan Commission recommends disapproval.
(District 4)
2. Request for a zone change from "CO" Office Commercial to "RD6" Duplex Residential for the property located at 1839 Tremainsville Road (Z25-0037).
The Plan Commission recommends approval.
(District 1)
3. Request for an amendment to a Special Use Permit originally granted by Ord. 218-19, for Christ the King Church and School site expansion for the property located at 4757 Monroe Street (SUP25-0042)
The Plan Commission recommends approval, subject to 24 conditions.
(District 5)
4. Zoning Study and Map Amendment of the Vistula Neighborhood (M-9-25).
The Plan Commission recommends approval.
5. Request for a Text Amendment Modifying TMC Section 1104.0100 Use Table, Adding Special Use Requirement for Storage Units (M-21-25).
The Plan Commission recommends approval.
6. Request for a Text Amendment Modifying TMC Section 1106.0400 Multi-Dwelling Lot Area Bonuses and Amenities in CM and CD to Remove the Major Site Plan Requirement for Density Bonuses and Replace with an Administrative Review (M-22-25).
The Plan Commission recommends approval.
7. Request for a Text Amendment regarding Legacy Zone Changes (M-13-25).
The Plan Commission recommends approval.
8. Review of outstanding studies within the Plan Commission.
9. Review of upcoming moratorium expiration dates.

City Council's office supports the provisions of the Americans' with Disabilities Act. If you need special accommodations, please call 48 hours prior to meeting time at (419) 245-1065.

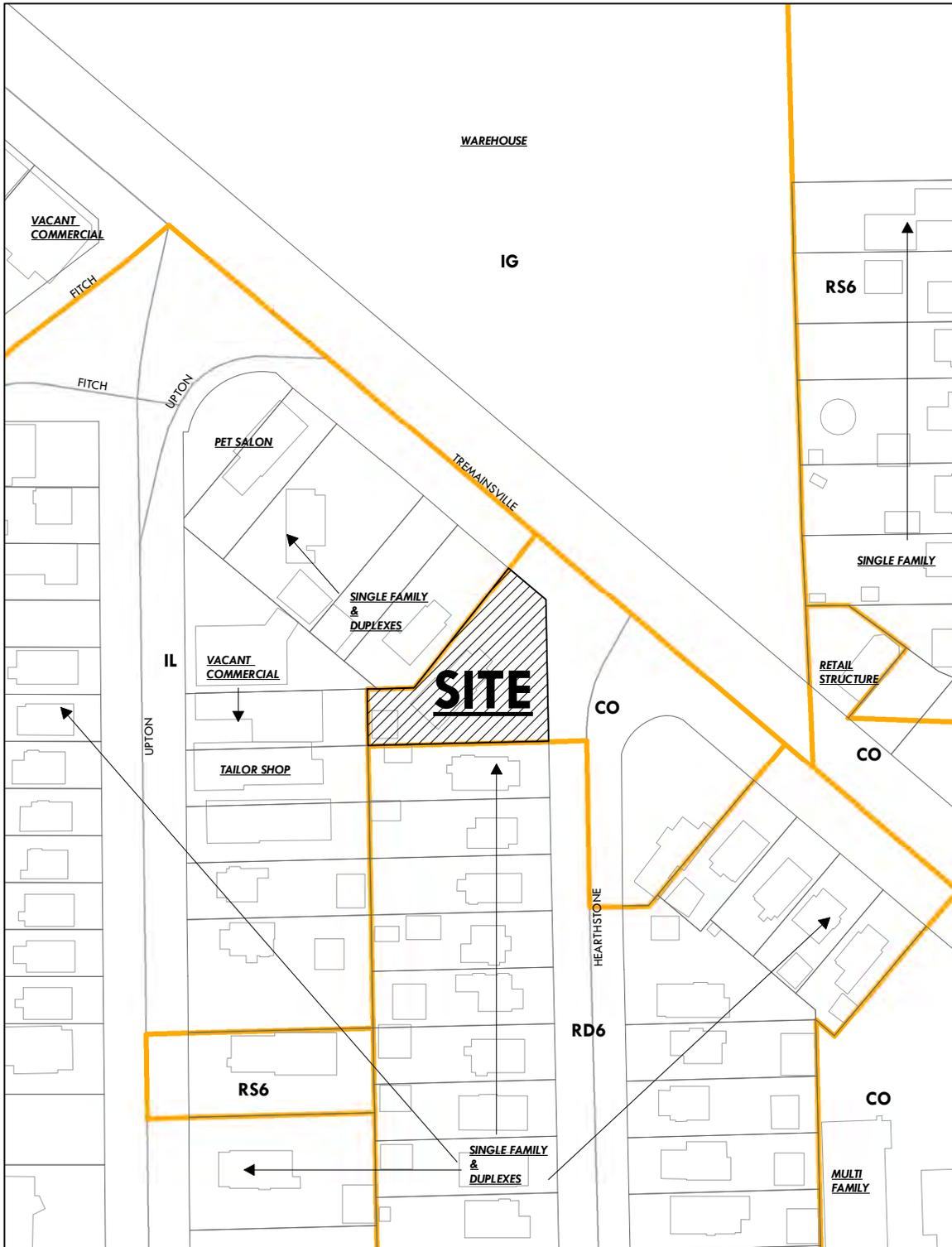
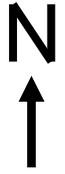
ZONING & LAND USE

V-435-25
ID 17



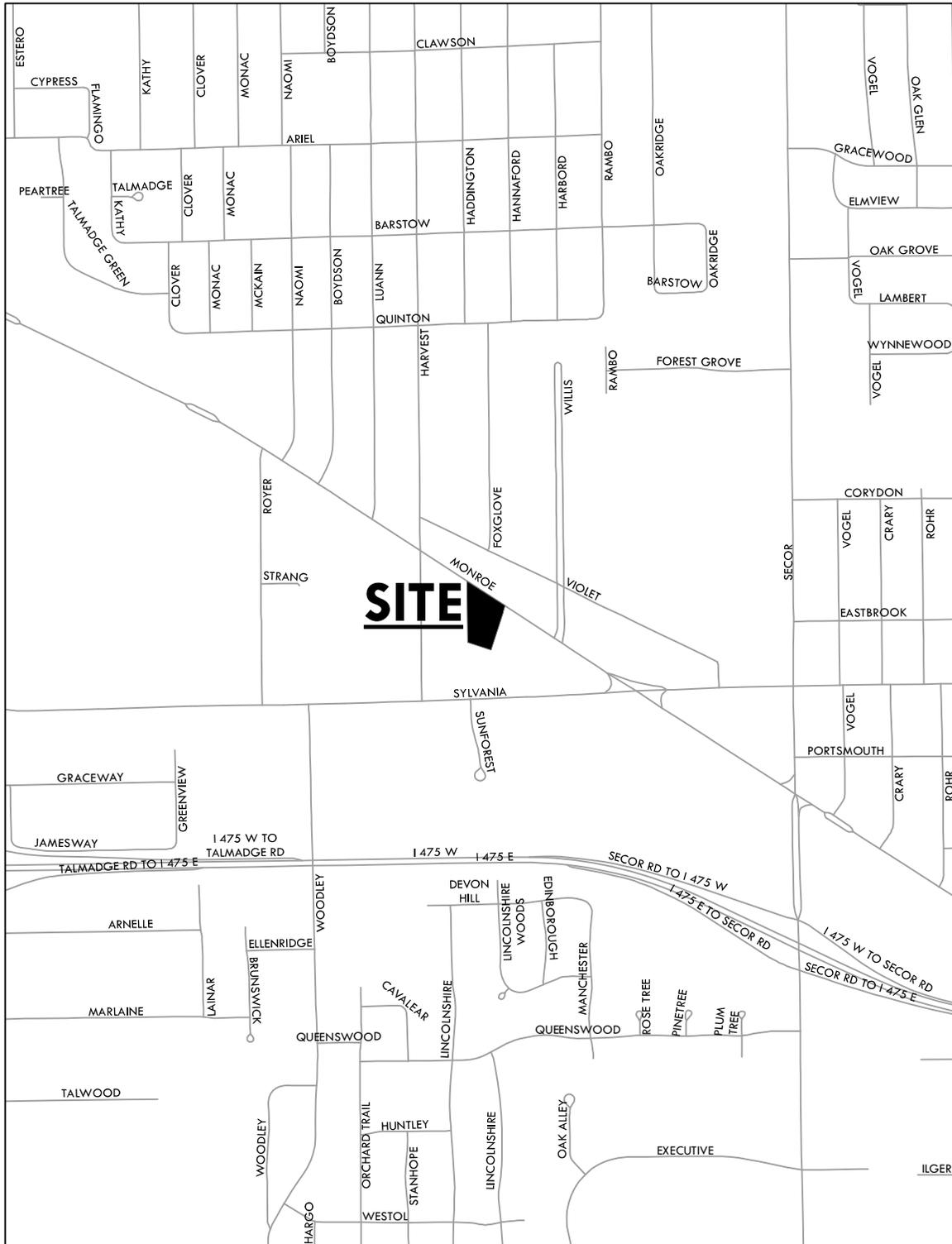
ZONING & LAND USE

Z25-0037
ID 40



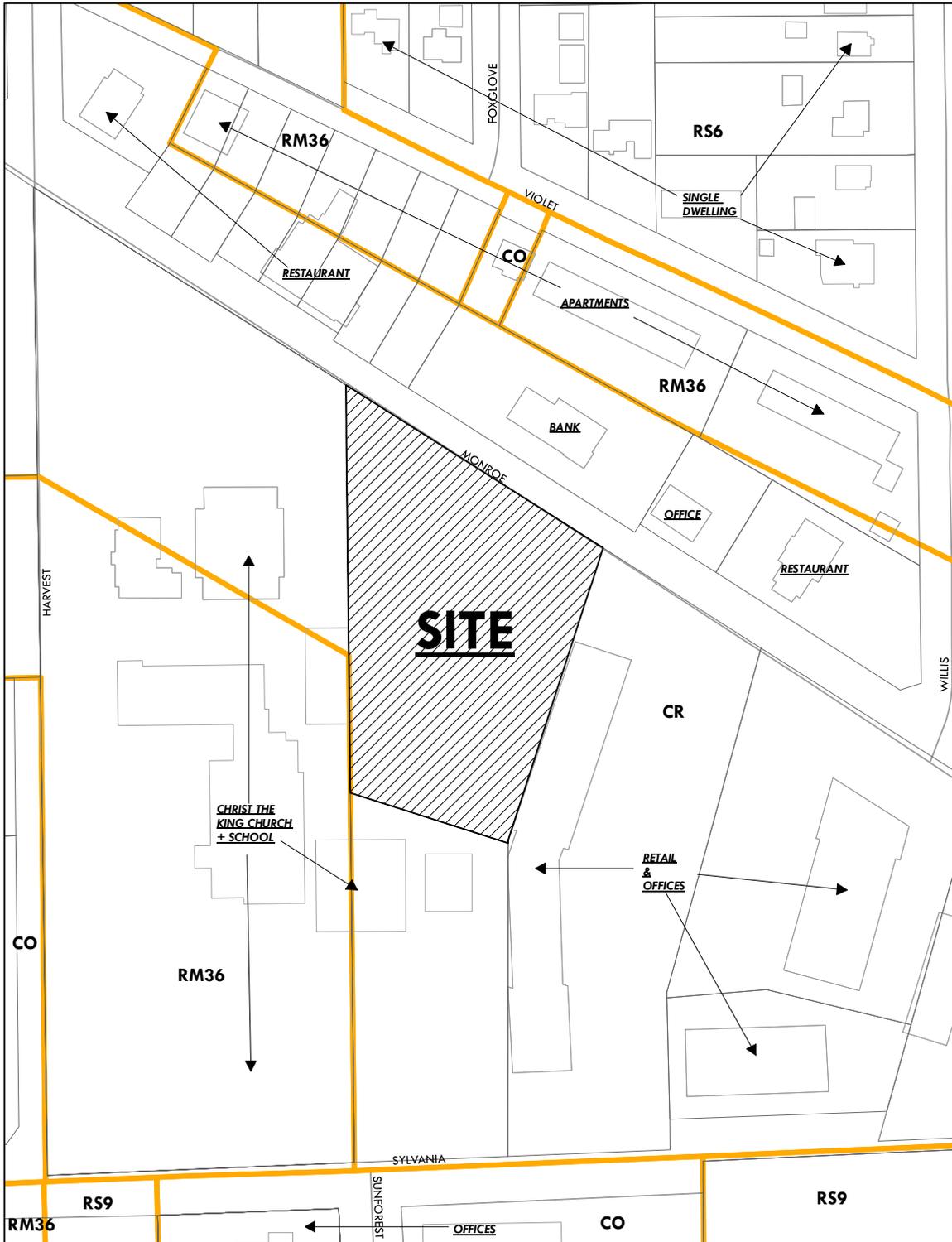
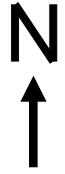
GENERAL LOCATION

SUP25-0042
ID 77



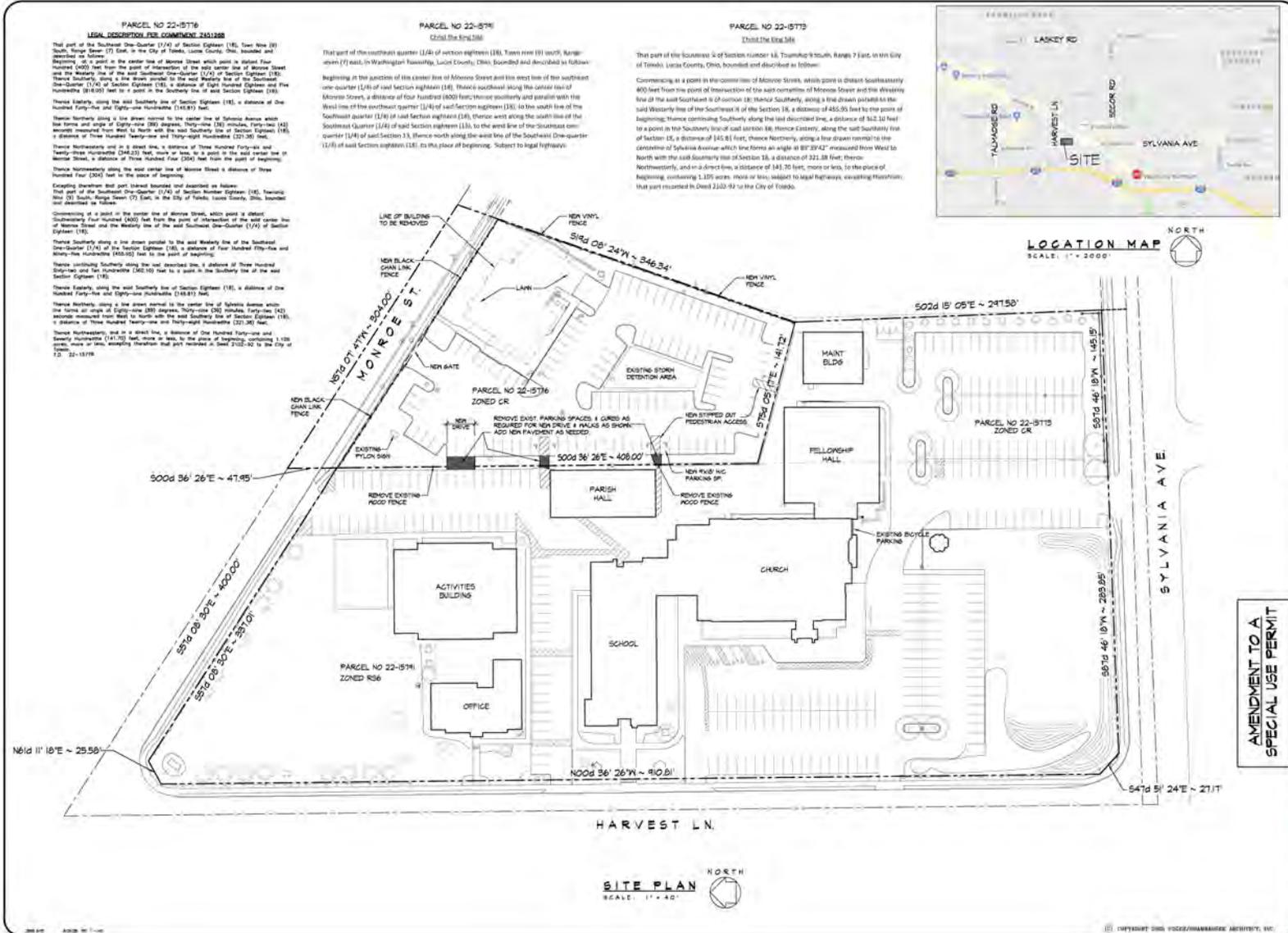
ZONING & LAND USE

SUP25-0042
ID 77



SITE PLAN

SUP25-0042
ID 77



PARCEL NO 22-5776
LEGAL DESCRIPTION FOR COMMENT 2431288

That part of the Southeast One-Quarter (1/4) of Section Eighteen (18), Town Nine (9) South, Range Seven (7) East, in the City of Toledo, Lucas County, Ohio, bounded and described as follows:

Beginning at a point in the center line of Monroe Street which point is distant Four Hundred (400) feet from the point of intersection of the east corner line of Monroe Street and the Westery line of the east Southwest One-Quarter (1/4) of Section Eighteen (18); thence Southwesterly, along a line drawn parallel to the east Westery line of the Southeast One-Quarter (1/4) of Section Eighteen (18), a distance of Four Hundred Eighty (408) feet to a point in the Southern line of said Section Eighteen (18); thence Easterly, along the said Southern line of Section Eighteen (18), a distance of One Hundred Forty-one and Eighty-one Hundredths (141.81) feet;

thence Northwesterly along a line drawn normal to the center line of Sylvania Avenue which line bears and angle of Eighty-nine (89) degrees, Thirty-one (31) minutes, Forty-two (42) seconds measured from West to North with the said Southern line of Section Eighteen (18), a distance of Three Hundred Twenty-nine and Thirty-eight Hundredths (329.38) feet;

thence Northwesterly and in a straight line, a distance of Three Hundred Forty-six and Twenty-three Hundredths (346.23) feet, more or less, to a point in the east corner line of Monroe Street, a distance of Five Hundred Four (504) feet from the point of beginning;

thence Northwesterly along the east corner line of Monroe Street a distance of Three Hundred Four (304) feet to the place of beginning.

Excepting therefrom that part thereof bounded and described as follows:

That part of the Southeast One-Quarter (1/4) of Section Number Eighteen (18), Township Nine (9) South, Range Seven (7) East, in the City of Toledo, Lucas County, Ohio, bounded and described as follows:

Commencing at a point in the center line of Monroe Street, which point is distant Southwesterly Four Hundred (400) feet from the point of intersection of the east corner line of Monroe Street and the Westery line of the east Southwest One-Quarter (1/4) of Section Eighteen (18);

thence Southwesterly along a line drawn parallel to the said Westery line of the Southeast One-Quarter (1/4) of Section Eighteen (18), a distance of Four Hundred Forty-five and Thirty-eight Hundredths (445.38) feet to the point of beginning;

thence Southwesterly along the said Westery line, a distance of Three Hundred Twenty-nine and Thirty-eight Hundredths (329.38) feet to the point of beginning;

thence Northwesterly and in a straight line, a distance of One Hundred Forty-one and Eighty-one Hundredths (141.81) feet, more or less, to the place of beginning, containing 1.026 acres, more or less, excluding therefrom that part recited in Item 2132-92 to the City of Toledo, 22-1578.

PARCEL NO 22-5774
Legal Description

That part of the southeast quarter (1/4) of section eighteen (18), Town nine (9) south, Range seven (7) east, in Washington Township, Lucas County, Ohio, bounded and described as follows:

Beginning at the junction of the center line of Monroe Street and the west line of the southwest one-quarter (1/4) of said section eighteen (18), thence northwesterly along the center line of Monroe Street, a distance of four hundred (400) feet; thence southwesterly and parallel with the West line of the southeast quarter (1/4) of said section eighteen (18), to the south line of the Southwest quarter (1/4) of said section eighteen (18), thence west along the south line of the Southwest quarter (1/4) of said section eighteen (18), to the west line of the Southwest one-quarter (1/4) of said section 18, thence north along the west line of the Southeast One-Quarter (1/4) of said section eighteen (18), to the place of beginning. Subject to legal highways.

PARCEL NO 22-5773
Tract Description

That part of the southeast 1/4 of Section number 18, Township 9 south, Range 7 East, in the City of Toledo, Lucas County, Ohio, bounded and described as follows:

Commencing at a point in the corner line of Monroe Street, which point is distant Southwesterly 400 feet from the point of intersection of the east corner of Monroe Street and the Westery line of the east Southwest 1/4 of Section 18; thence Southwesterly, along the said Westery line of the Southwest 1/4 of the Section 18, a distance of 455.95 feet to the point of beginning; thence continuing Southwesterly along the said distant line, a distance of 312.10 feet to a point in the Southern line of said section 18; thence Easterly, along the said Southern line of Section 18, a distance of 141.81 feet; thence Northwesterly, along a line drawn normal to the center line of Sylvania Avenue which line bears an angle of 89° 31' 42" measured from West to North with the said Southern line of Section 18, a distance of 221.88 feet; thence Northwesterly, and in a direct line, a distance of 141.81 feet, more or less, to the place of beginning, containing 1.026 acres, more or less, subject to legal highways, excluding therefrom that part recited in Item 2132-92 to the City of Toledo.



COGER/SHAMBARGER
ARCHITECT, INC.
414-527-9516 FAX: 419-527-4608
4187 TALLMAGE ROAD SUITE B
TOLEDO, OHIO 43623

CHRIST THE KING CHURCH
4000 HARVEST LANE
TOLEDO, OHIO 43623
SITE PLAN

AMENDMENT TO A
SPECIAL USE PERMIT

DATE
8-20-25
REVISED 8-20-25

S1
25-35

GENERAL LOCATION

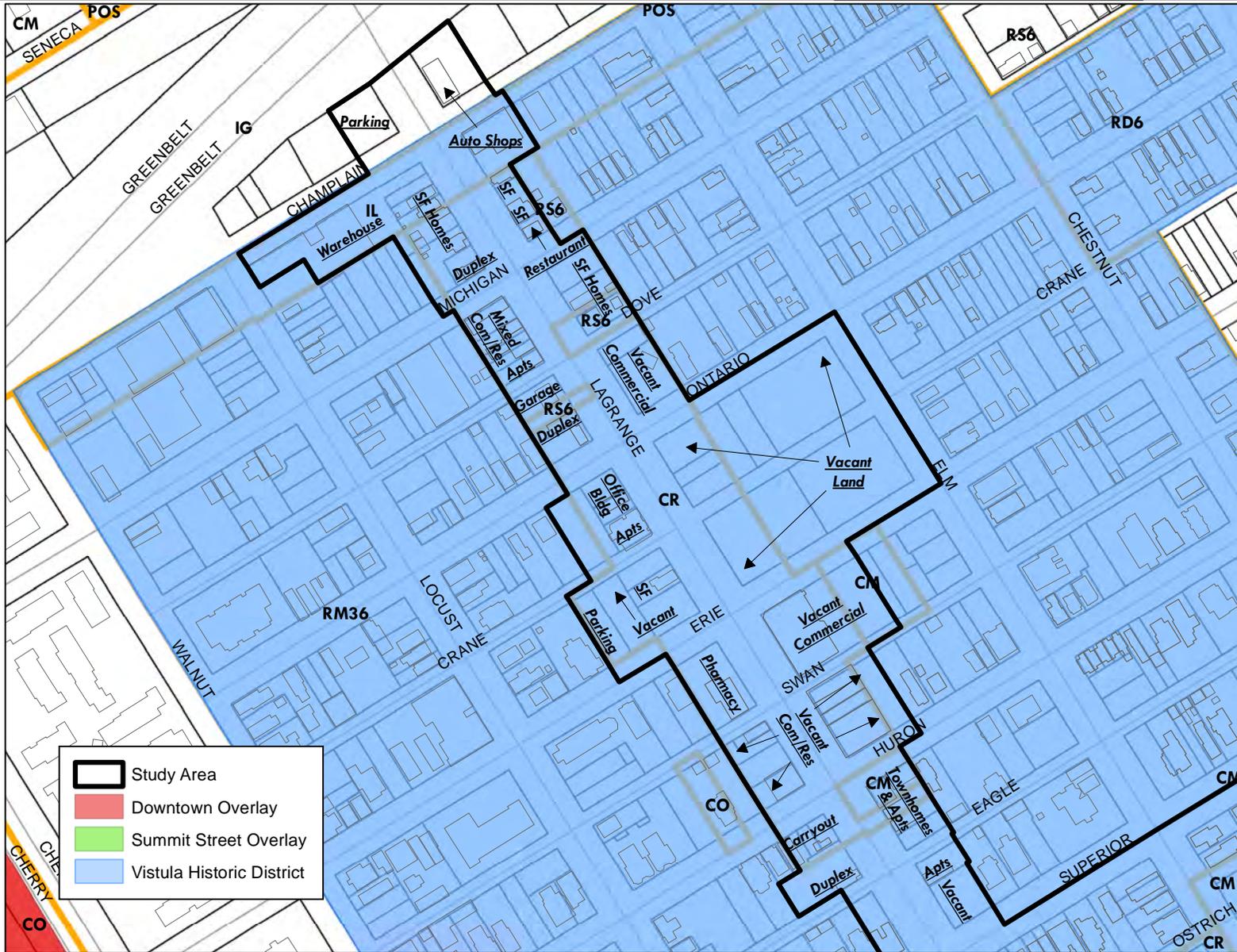
**M-9-25
ID 4 & 9**



SITE

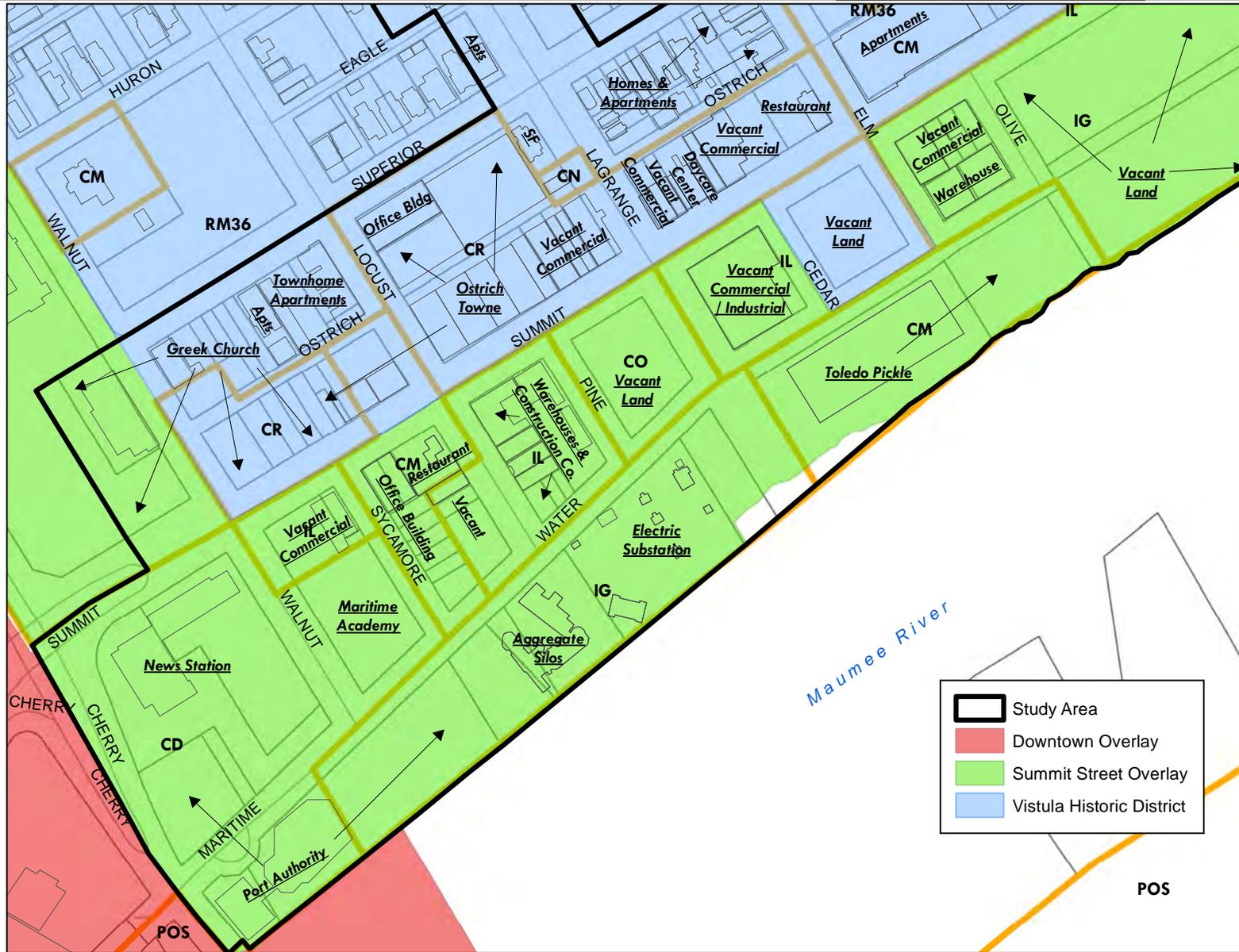
ZONING & LAND USE LAGRANGE

M-9-25
ID 4 & 9



ZONING & LAND USE SUMMIT - UPRIVER

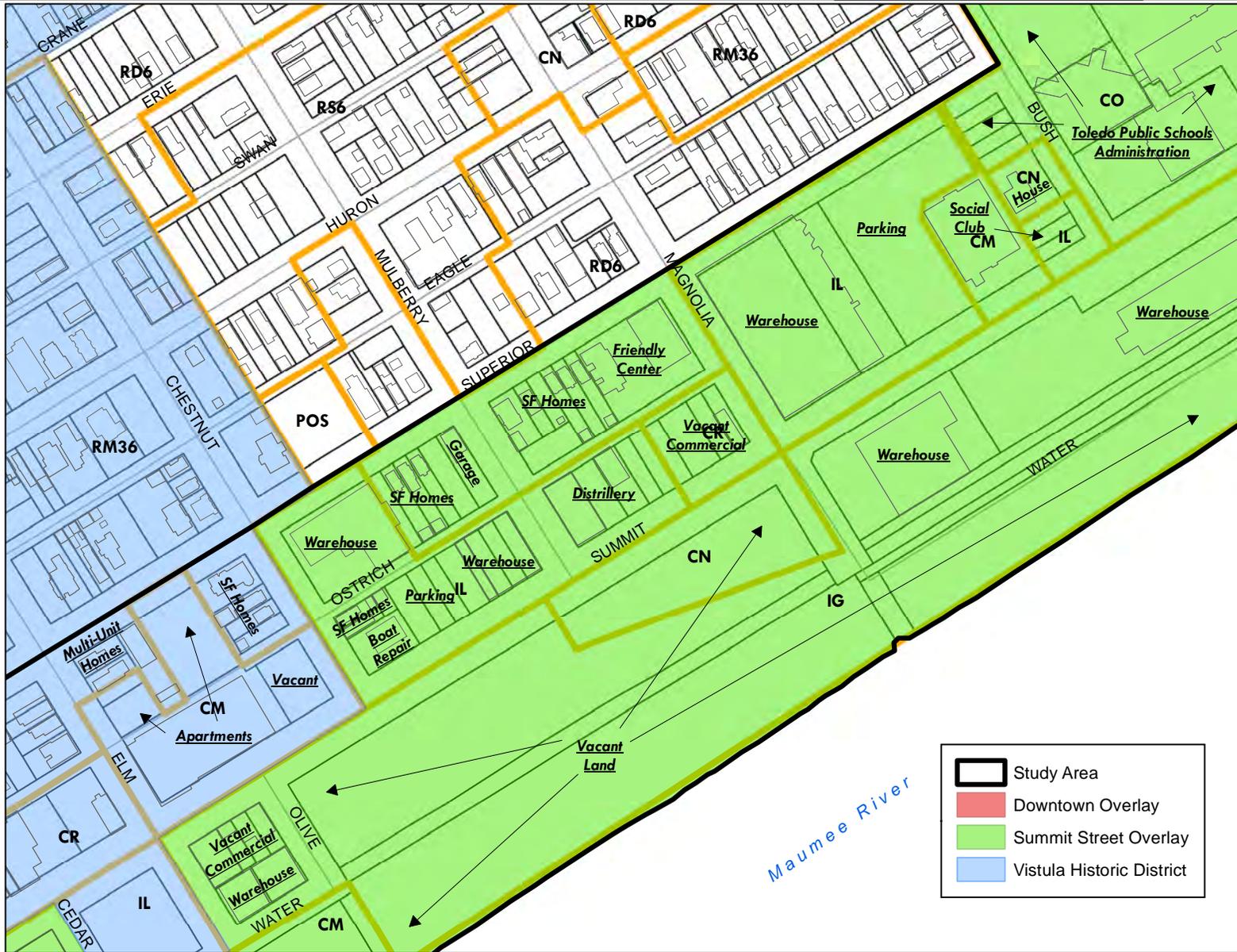
M-9-25
ID 4 & 9



10-9

ZONING & LAND USE SUMMIT - MIDDLE

M-9-25
ID 4 & 9



10 - 10

- Study Area
- Downtown Overlay
- Summit Street Overlay
- Vistula Historic District

Maumee River

ZONING & LAND USE SUMMIT - UPRIVER

M-9-25
ID 4 & 9

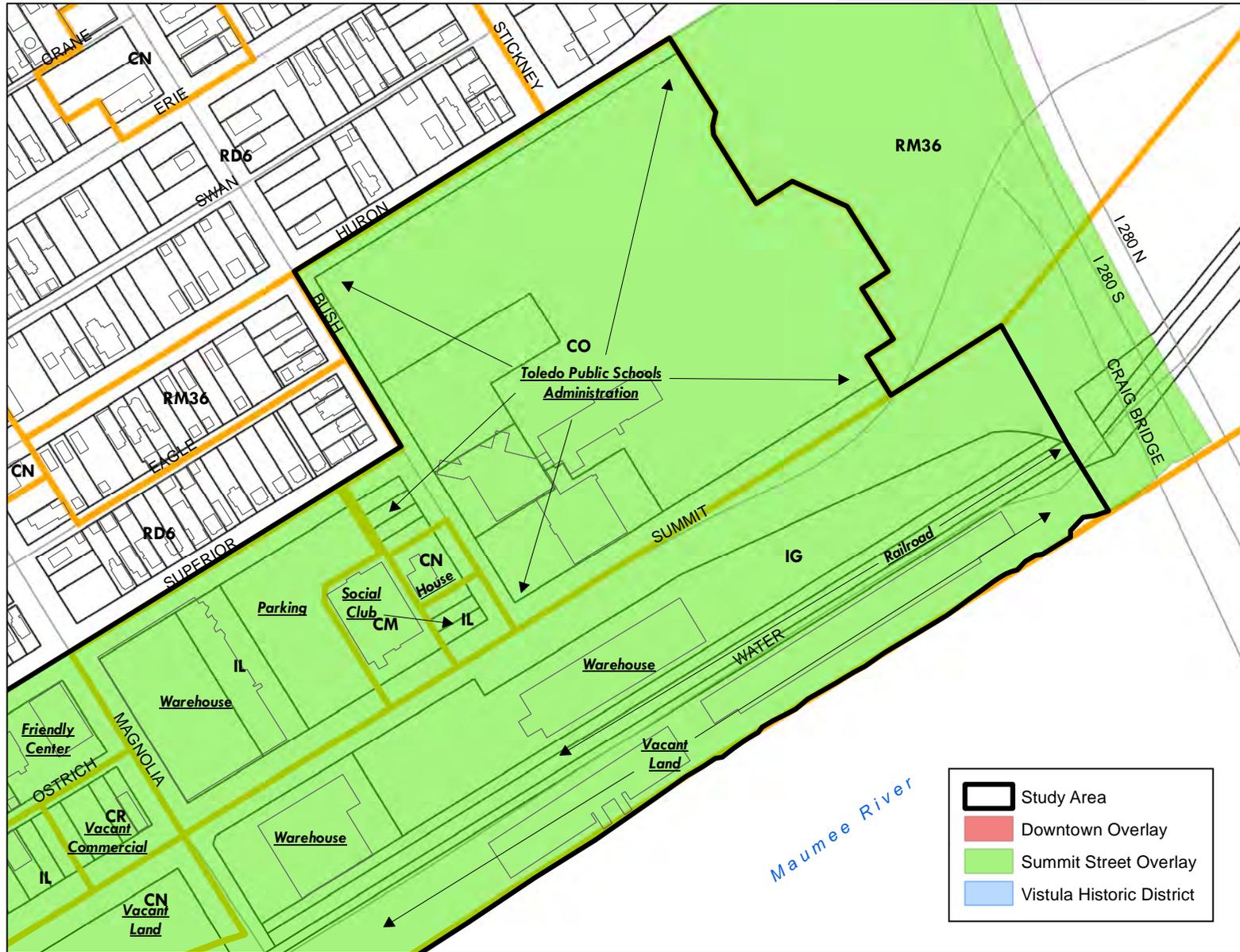
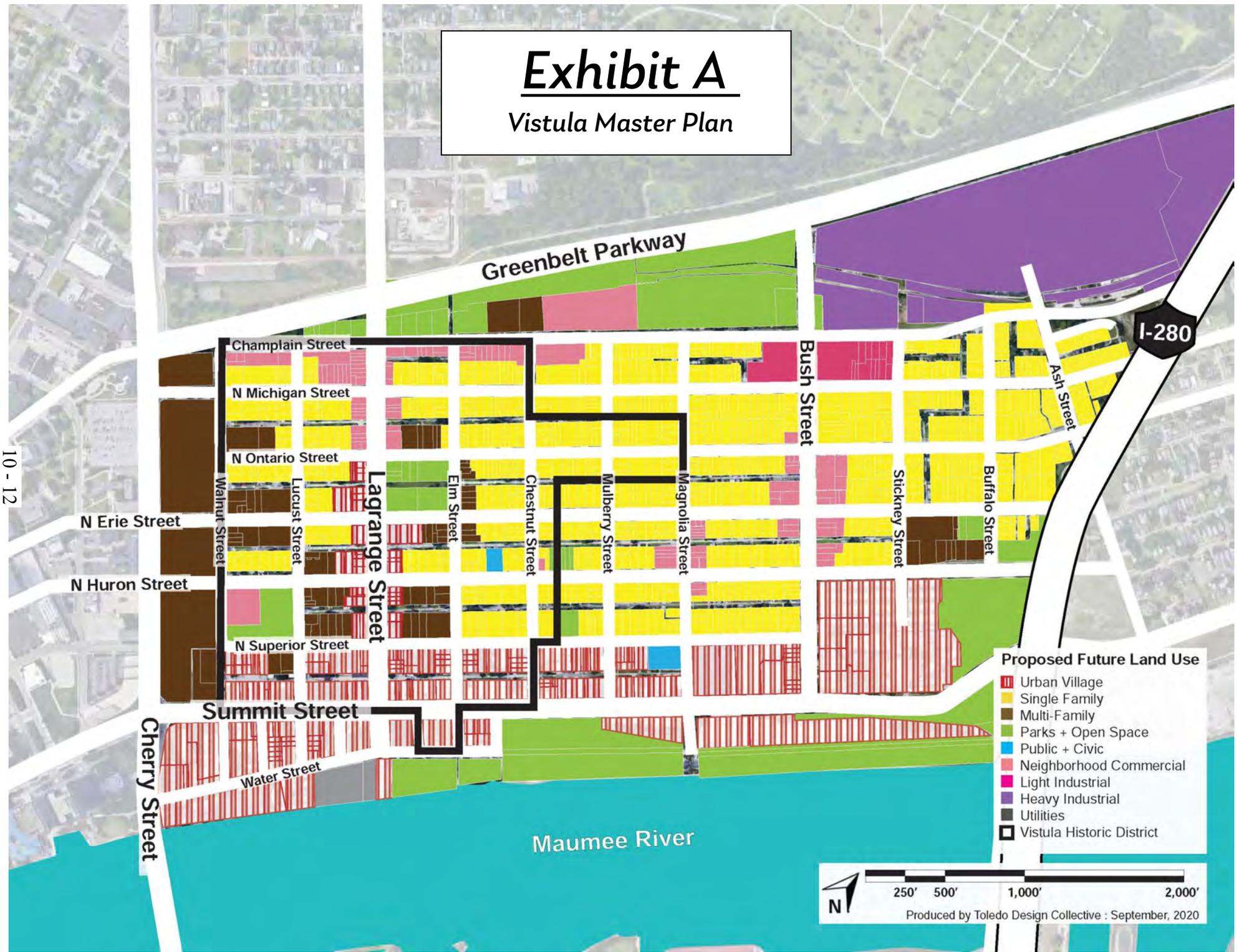


Exhibit A

Vistula Master Plan



10 - 12

- Proposed Future Land Use**
- Urban Village
 - Single Family
 - Multi-Family
 - Parks + Open Space
 - Public + Civic
 - Neighborhood Commercial
 - Light Industrial
 - Heavy Industrial
 - Utilities
 - Vistula Historic District

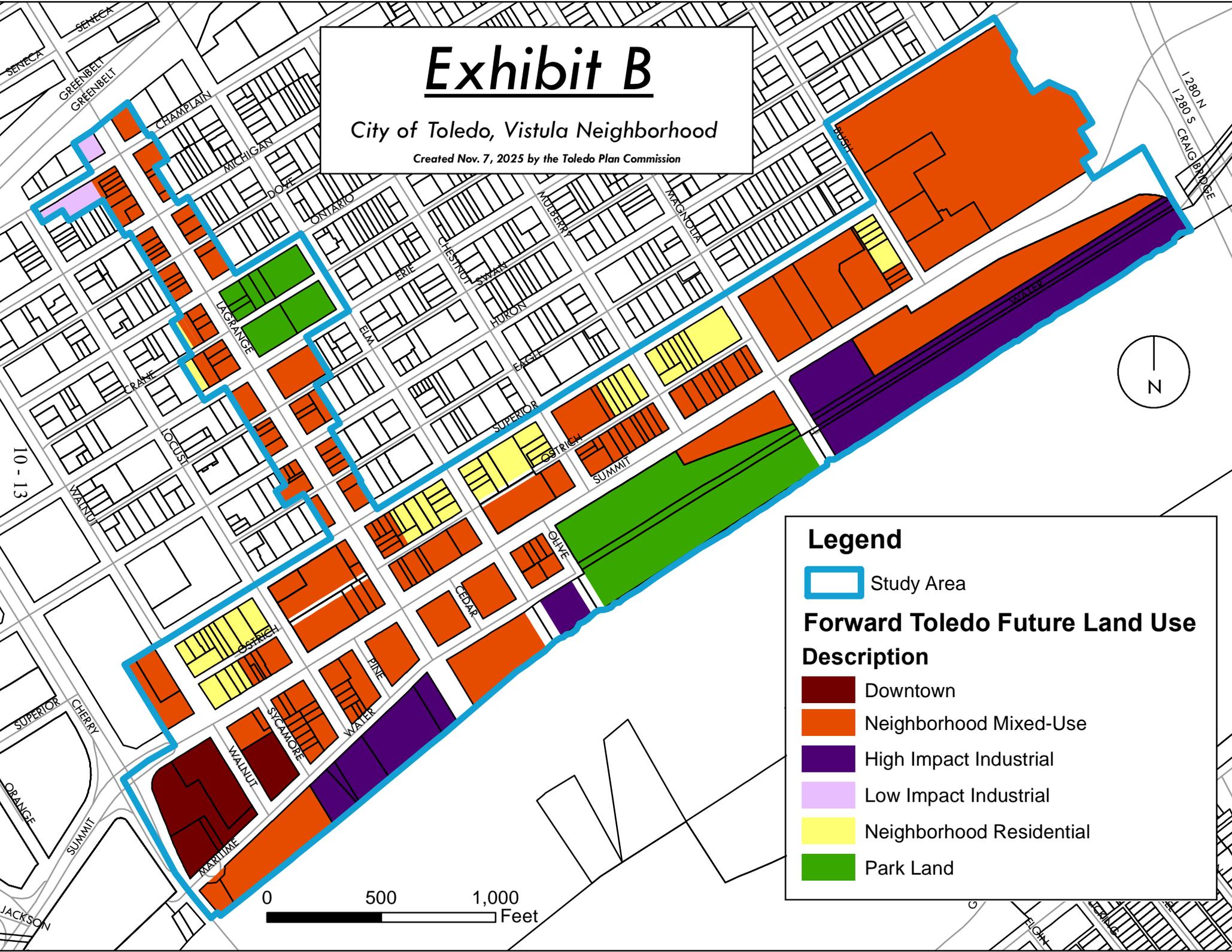


Produced by Toledo Design Collective : September, 2020

Exhibit B

City of Toledo, Vistula Neighborhood

Created Nov. 7, 2025 by the Toledo Plan Commission



Legend

 Study Area

Forward Toledo Future Land Use Description

-  Downtown
-  Neighborhood Mixed-Use
-  High Impact Industrial
-  Low Impact Industrial
-  Neighborhood Residential
-  Park Land

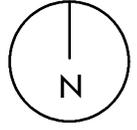
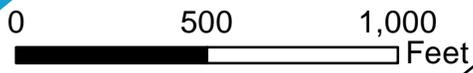


Exhibit C

R-297-25 Recommendations

10 - 14

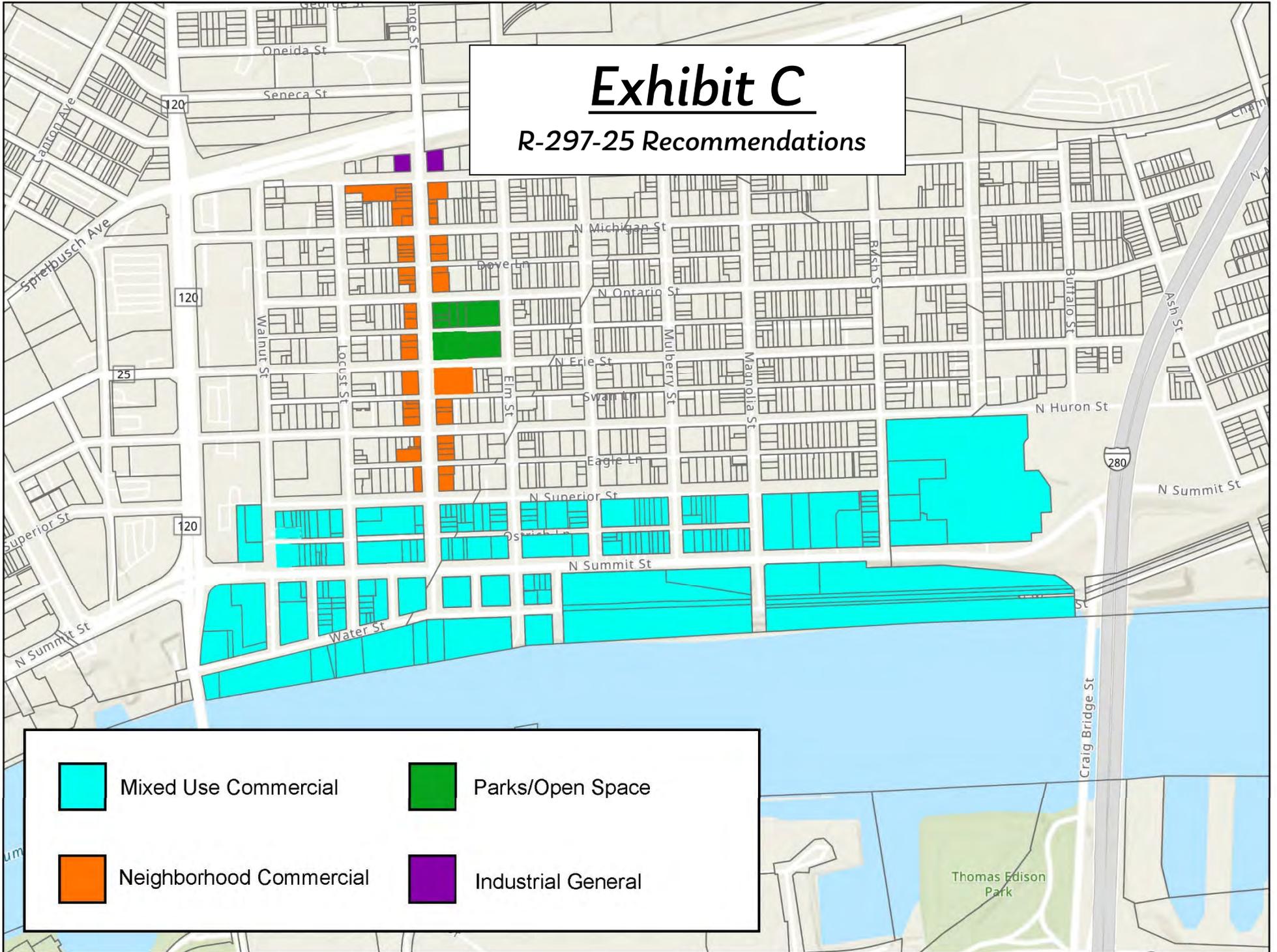
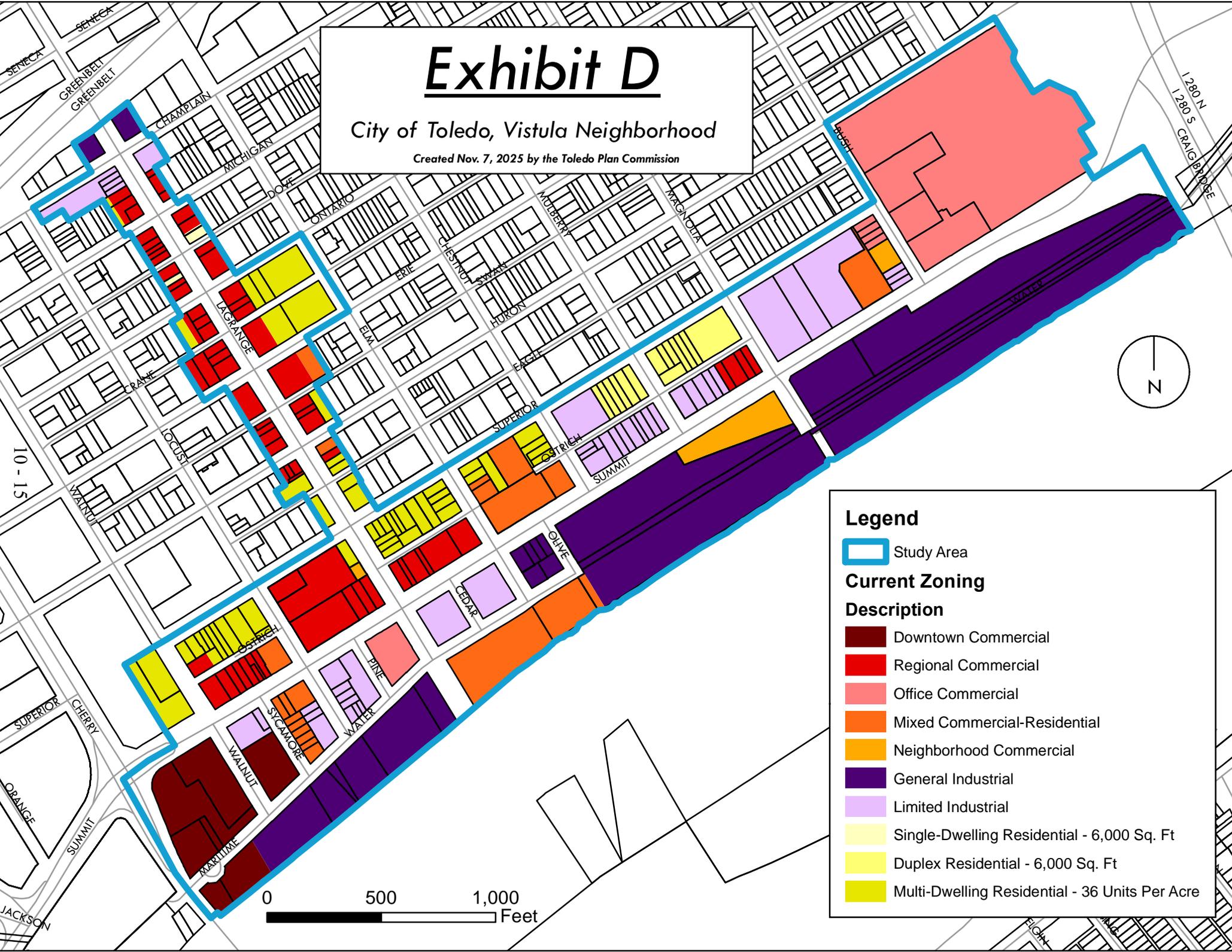


Exhibit D

City of Toledo, Vistula Neighborhood

Created Nov. 7, 2025 by the Toledo Plan Commission



Legend

 Study Area

Current Zoning

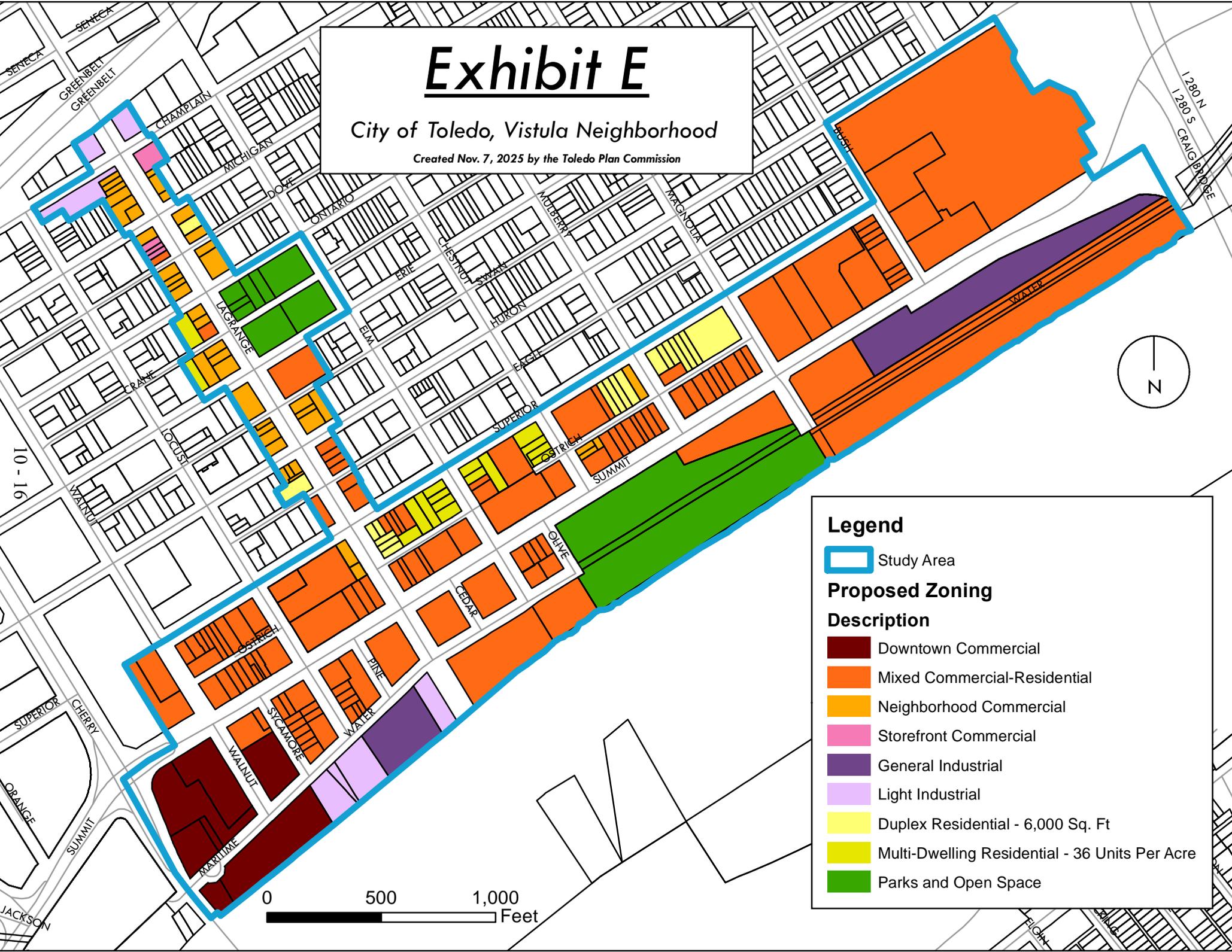
Description

-  Downtown Commercial
-  Regional Commercial
-  Office Commercial
-  Mixed Commercial-Residential
-  Neighborhood Commercial
-  General Industrial
-  Limited Industrial
-  Single-Dwelling Residential - 6,000 Sq. Ft
-  Duplex Residential - 6,000 Sq. Ft
-  Multi-Dwelling Residential - 36 Units Per Acre

Exhibit E

City of Toledo, Vistula Neighborhood

Created Nov. 7, 2025 by the Toledo Plan Commission



Legend

 Study Area

Proposed Zoning

Description

-  Downtown Commercial
-  Mixed Commercial-Residential
-  Neighborhood Commercial
-  Storefront Commercial
-  General Industrial
-  Light Industrial
-  Duplex Residential - 6,000 Sq. Ft
-  Multi-Dwelling Residential - 36 Units Per Acre
-  Parks and Open Space

**Exhibit “B”
Proposed Text**

1104.0100 | Use Table

Use Category	RS 12	RS 9	RS 6	RD 6	RM (all)	R MH	CN	CO	CM	CS	CR	CD	IL	IG	IP	POS	IC
Wholesale, Storage and Distribution																	
Mini-Warehouse	-	-	-	-	-	-	-	-	-	-	S	-	S	S	-	-	-
Light	-	-	-	-	-	-	-	-	-	-	-	P	P	P	P	-	-
Heavy	-	-	-	-	-	-	-	-	-	-	-	-	P	P	-	-	-

Exhibit “B”

Text Modifications

(Additions in italic highlight. Deletions in bold strikethrough)

1106.0303 Review

Any reduction under this Section must be applied for and reviewed under the ~~Major~~ Site Plan review provisions of Sec. 1111.0800, unless the development is subject to Special Use review or an Institutional Master Plan, in which case review of a proposed reduction under this Section shall be conducted under that procedure.

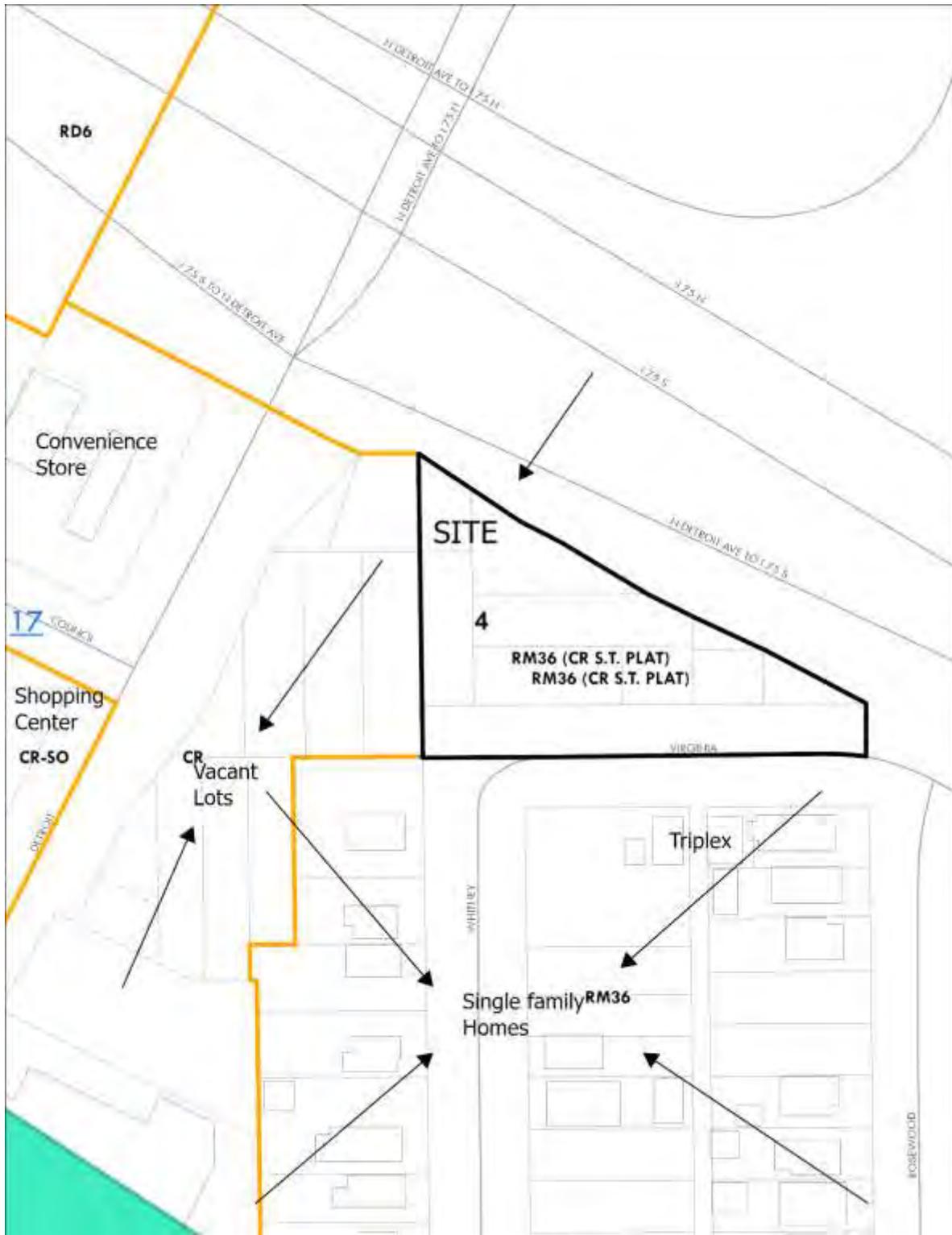
Exhibit "A"
Text Additions

1111.0610 Zone Changes Subject to Subdivision Platting

Any Zone Change conditionally approved, subject to the approval and recording of a commercial or industrial subdivision plat, is no longer valid. The original zoning classification remains the permanent zoning classification for the subject property.

EXHIBIT "B"

M-13-25





City Council Zoning & Planning Committee

8. Review of outstanding studies within the Plan Commission.
9. Review of upcoming moratorium expiration dates.