

BOARD OF ZONING APPEALS

June 17, 2024

City of Toledo



ADMINISTRATIVE BOARD OF ZONING APPEALS (BZA)

MONDAY, JUNE 17, 2024 - 10:00 A.M.
CITY COUNCIL CHAMBERS, FIRST FLOOR
GOVERNMENT CENTER

BZA BOARD APPROVAL CASE ORDER

DOCKET #	BZA No	ADDRESS
1	BZA24-0008	820 MATZINGER RD
2	BZA24-0010	5945 CURSON DR
3	BZA24-0011	5745/5715 ANGOLA RD
4	BZA24-0014	2049 WILDWOOD BLVD

0 MEETING: June 17, 2024
10:00 A.M.

CITY COUNCIL CHAMBERS
1st floor

BOARD MEMBERS
STEPHEN SERCHUK- CHAIRMAN
NATHAN KNAPKE - VICE CHAIRMAN
ROBERT PASKER

DEVON OVERTON
CHRISTY SONCRANT
CARRIE HARTMAN
ERIC CRAIG
DOUG LALONDE - SECRETARY
KEN FISCHER - COMMISSIONER
KYLEE ROWLSON - COURT RECORDER

ATTENDANCE

Agenda

City of Toledo - Administrative Board of Zoning Appeals

Case	BZA #	HEARING DATE	Address	Applicant Name	WAIVER REQUEST	Zoning District	STAFF COMMENTS	BOARD ACTION
1	BZA24-0008	May 20, 2024	820 Matzinger Rd	Sam Markho	Applicant requests variance from TMC 1105.0302 (A) (1) for a 6' fence in the front setback 6' along Matzinger and Kettering.	CR		
2	BZA24-0010	May 20, 2024	5945 Curson Dr	Haley Colombaro	Applicant requests variance from TMC 1105.0301 (A) for a 5' fence in the front setback along Curson and Sarasota.	RS6		
3	BZA24-0011	May 20, 2024	5745 & 5715 Angola Rd	Tim Volchko	Applicant requests variance from TMC 1107.1906 (A) to leave existing gravel parking lot.	IG	Building Inspection cannot opine on waiving requirements of the internal storm drainage system. This is handled by Engineering Services.	
4	BZA24-0014	May 20, 2024	2049 Wildwood Blvd	Elliott Adams & Patrick Kees	Applicant requests variance from TMC 1105.0301 (C & D) for an accessory structure to be 1' 6" from side property line where 3' is required (C) and 1' from double frontage lot on Westmeyer where 25' is required (D). Applicant requests variance from TMC 1105.0300 (B) for a 6' high fence in the front (Westmeyer) yard where 42" is allowed.	RS6		

CASE # BZA24-0008BY: [Signature] CITY OF TOLEDO

Department of Building and Code Compliance

Division of Building Inspection

One Government Center, Suite 1600 • Toledo, OH 43604 • Phone (419) 245-1220 • Fax (419) 245-1329 • www.toledo.oh.gov

APPLICATION TO THE ADMINISTRATIVE BOARD OF ZONING APPEAL (BZA)

TMC Chapter 1112.0200

Site Location 820 Matzinger Rd Zoning District CR Date 4/11/24
Legal Description IRREG PCE SE MATZINGER RD & NW CENOTTAWA RIVER
8918 LOTS 2 & 3 MEAS 284.15 FT FRT 659.74 FT SW LINE 400 FT & 863 FT NE LINE
Applicant's Name (print) San Markho

Appeal (Dept. of Inspection ruling - Title Nine Sign Code) _____ Hardship Variance _____

Exception X Appeal decision _____ ADA Accommodation _____

TMC § PROPERTY HAD EXISTING 3' FENCE WHICH WAS DAMAGED AND
OVERGROWN. WE REMOVED 3' FENCE AND REPLACED WITH 6' NO-CLIMB
GREEN IN COLOR TO BEAUTIFY PROPERTY AND SECURE PROPERTY.

Applicant Signature [Signature] Phone 419-283-6387 / 419-297-2538Applicant's Street Address 812 Matzinger Rd Fax _____Applicant's City, State, Zip Toledo, OH 43612 E-Mail Sams Travel Center@gmail.com

Applications must be accompanied with:

1. 3 photos - showing different views of the site
2. Letter explaining your zoning request with full and accurate information.
3. Complete, clear site plan - recommended scale 1"=20' on 8-1/2" x 11" paper showing dimensions to all lot lines and the size of all structures on the premises.
4. Fee = \$200 Checks may be made payable to "City of Toledo."

Applicant:

You should receive a written notice of the staff recommendation no later than Wednesday preceding the hearing date. Please call (419) 245-1220 if you do not receive this notice.

Return the application documents by mail to: Division of Building Inspection, One Government Center, Suite 1600, Toledo, OH 43604; or In person with the application documents and fee. Applications are due 6 weeks before the Board of Zoning Appeals' meeting to allow proper notification of neighbors. Meetings are typically held the third Monday of every month at 10:00 AM. in City Council Chambers, One Government Center, Toledo, OH 43604. The applicant or the applicant's representative must be present.

+++++ OFFICE USE +++++

Permit Tech Checklist: Application complete ☒ Photos ☒ Letter ☒ Proper Site Plan ☒ SWO X n/aCopy Zoning Map 61 <http://local.live.com/> Transportation notified to check site distance hazard _____Code Enforcement notified if orders are being appealed. _____ Permit Tech's Initials JH Date 4/12/24

Reviewed by _____ Date _____ Staff Recommendation _____

Board Decision _____ Date _____

P:, Inspection, BZA

3/15/2024 kjr

1-1

HEARING DATE: June 17, 2024

BZA NO: BZA24-0008

APPLICANT: Sam Markho

SITE LOCATION: 820 Matzinger Rd

ZONING DISTRICT: CR

SWO or NOL Issued: N/A

ANALYSIS: Applicant requests variance from TMC 1105.0302 (A) (1) for a 6' fence in the front setback 6' along Matzinger and Kettering.

STAFF COMMENTS: N/A

BOARD ACTION:

MOTION TO APPROVE/DISAPPROVE:	1 ST /2 ND MOTIONS	1 ST /2 ND IF 2 ND MOTION	YEA	NAY	ABSENT	RECUSE	LEFT BEFORE VOTE TAKEN
Christy Soncrant	_____	_____	_____	_____	_____	_____	_____
DeVon Overton	_____	_____	_____	_____	_____	_____	_____
Carrie Hartman	_____	_____	_____	_____	_____	_____	_____
Rob Pasker	_____	_____	_____	_____	_____	_____	_____
Eric Craig	_____	_____	_____	_____	_____	_____	_____
Nathan Knapke	_____	_____	_____	_____	_____	_____	_____
Steve Serchuk	_____	_____	_____	_____	_____	_____	_____

VOTING RESULTS:

APPROVED _____ DISAPPROVED _____ DEFERRED _____ WITHDRAWN _____

CONDITIONS OF APPROVAL:

HEARING DATE: May 20, 2024

BZA NO: BZA24-0008

APPLICANT: Sam Markho

SITE LOCATION: 820 Matzinger Rd

ZONING DISTRICT: CR

SWO or NOL Issued: N/A

ANALYSIS: Applicant requests variance from TMC 1105.0302 (A) (1) for a 6' fence in the front setback along Matzinger and Kettering.

STAFF COMMENTS: N/A

BOARD ACTION:

MOTION TO APPROVE/DISAPPROVE:	1 ST /2 ND MOTIONS	1 ST /2 ND IF 2 ND MOTION	YEA	NAY	ABSENT	RECUSE	LEFT BEFORE VOTE TAKEN
Christy Soncrant	_____	_____	_____	_____	X	_____	_____
DeVon Overton	_____	_____	_____	_____	_____	_____	_____
Carrie Hartman	_____	_____	_____	_____	_____	_____	_____
Rob Pasker	_____	_____	_____	_____	_____	_____	_____
Eric Craig	_____	_____	_____	_____	_____	_____	_____
Nathan Knapke	_____	_____	_____	_____	_____	_____	_____
Steve Serchuk	_____	_____	_____	_____	_____	_____	_____

VOTING RESULTS:

APPROVED _____ DISAPPROVED _____ DEFERRED _____ WITHDRAWN _____

CONDITIONS OF APPROVAL:

NO SHOW

Hooks, Jason

To: Galambos, Aaron
Subject: Transportation Review BZA24-0008
Attachments: 20240412092354482.pdf

Hello Aaron,

Please see attached for the Board of Zoning Appeals application for 820 Matzinger for a 6' Fence in the Front Setback for a Commercial Property.

Let me know the decision on the review and let me know if there are any questions I can assist with!

Thank you,

Jason Hooks

Permit Technician
Division of Building Inspection
Office 419-245-1220
Fax 419-245-1329
One Government Center – Suite 1600
Toledo, OH 43604
jason.hooks@toledo.oh.gov



Hooks, Jason

From: Galambos, Aaron
Sent: Friday, April 12, 2024 11:40 AM
To: Hooks, Jason
Cc: toledobi
Subject: RE: Transportation Review BZA24-0008, 820 Matzinger
Attachments: 20240412113902662.pdf

Please see attachment for BZA24-0008.

Aaron Galambos
Engineering Associate
Department of Transportation
Division of Traffic Management
aaron.galambos@toledo.oh.gov
office 419-245-1300
→ toledo.oh.gov



From: Hooks, Jason <Jason.Hooks@toledo.oh.gov>
Sent: Friday, April 12, 2024 9:18 AM
To: Galambos, Aaron <Aaron.Galambos@toledo.oh.gov>
Subject: Transportation Review BZA24-0008

Hello Aaron,

Please see attached for the Board of Zoning Appeals application for 820 Matzinger for a 6' Fence in the Front Setback for a Commercial Property.

Let me know the decision on the review and let me know if there are any questions I can assist with!

Thank you,

Jason Hooks

Permit Technician
Division of Building Inspection
Office 419-245-1220
Fax 419-245-1329
One Government Center – Suite 1600
Toledo, OH 43604
jason.hooks@toledo.oh.gov

CASE # BZAZ4-0008BY: [Signature] CITY OF TOLEDO

Department of Building and Code Compliance

Division of Building Inspection

One Government Center, Suite 1600 • Toledo, OH 43604 • Phone (419) 245-1220 • Fax (419) 245-1329 • www.toledo.oh.gov

APPLICATION TO THE ADMINISTRATIVE BOARD OF ZONING APPEAL (BZA)

TMC Chapter 1112.0200

Site Location 820 Matzinger Rd Zoning District CR Date 4/11/24
Legal Description 8918 LOTS 2 & 3 MEAS 284.15 FT FR 659.74 FT SW LINE 400 FT E 863 FT NE LINE
Applicant's Name (print) Sam Markko

Appeal (Dept. of Inspection ruling - Title Nine Sign Code) _____ Hardship Variance _____

Exception X Appeal decision _____ ADA Accommodation _____

TMC § PROPERTY HAD EXISTING 3' FENCE WHICH WAS DAMAGED AND
OVERGROWN. WE REMOVED 3' FENCE AND REPLACED WITH 6' NO-CLIMB
GREEN IN COLOR TO BEAUTIFY PROPERTY AND SECURE PROPERTY.

Applicant Signature [Signature] Phone 419-283-6387 / 419-247-2538Applicant's Street Address 812 Matzinger Rd Fax _____Applicant's City, State, Zip Toledo, OH 43612 E-Mail SamsTravelCenter@gmail.com

Applications must be accompanied with:

1. 3 photos - showing different views of the site
2. Letter explaining your zoning request with full and accurate information.
3. Complete, clear site plan - recommended scale 1"=20' on 8-1/2" x 11" paper showing dimensions to all lot lines and the size of all structures on the premises.
4. Fee = \$200 Checks may be made payable to "City of Toledo."

Applicant:

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+++++ OFFICE USE +++++

Permit Tech Checklist: Application complete ☒ Photos ☒ Letter ☒ Proper Site Plan ☒ SWO X n/aCopy Zoning Map 61 <http://local.live.com/> Transportation notified to check site distance hazard _____Code Enforcement notified if orders are being appealed. _____ Permit Tech's Initials JH Date 4/12/24

Reviewed by _____ Date _____ Staff Recommendation TRANSPORTATION / TRAFFIC
MANAGEMENT HAS NO ISSUES. CARON KALAMBOO 4-12-24

Board Decision _____ Date _____

P: Inspection, BZA

3/15/2024 kjr

1-5

Zoning Request Explanation Letter

Property Address: 820 Matzinger Rd., Toledo, OH 43612

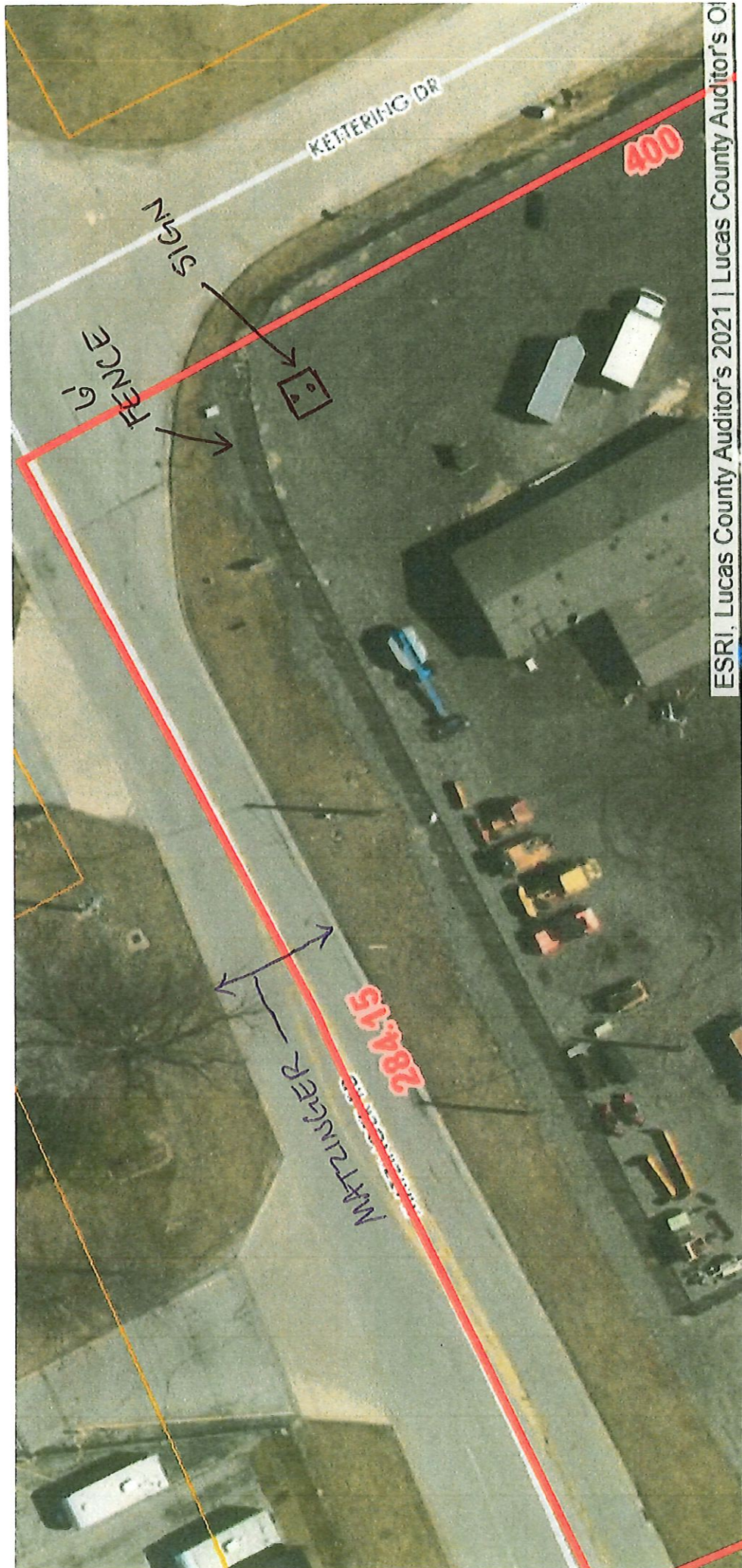
We had previous chain link fencing that was damaged and had trees grown through it. Instead of repairing it because it would not look professional, we are replacing with anti-climb fencing that is 6' tall. We understand now that this is zoned Commercial and the code is set for 3.5'. We are in the North Toledo Industrial Park surrounded by all Industrial. It is important to us that we provide good measure of protection that matches everything else in the area.

Thank you,

Sam Markho

419-297-2538

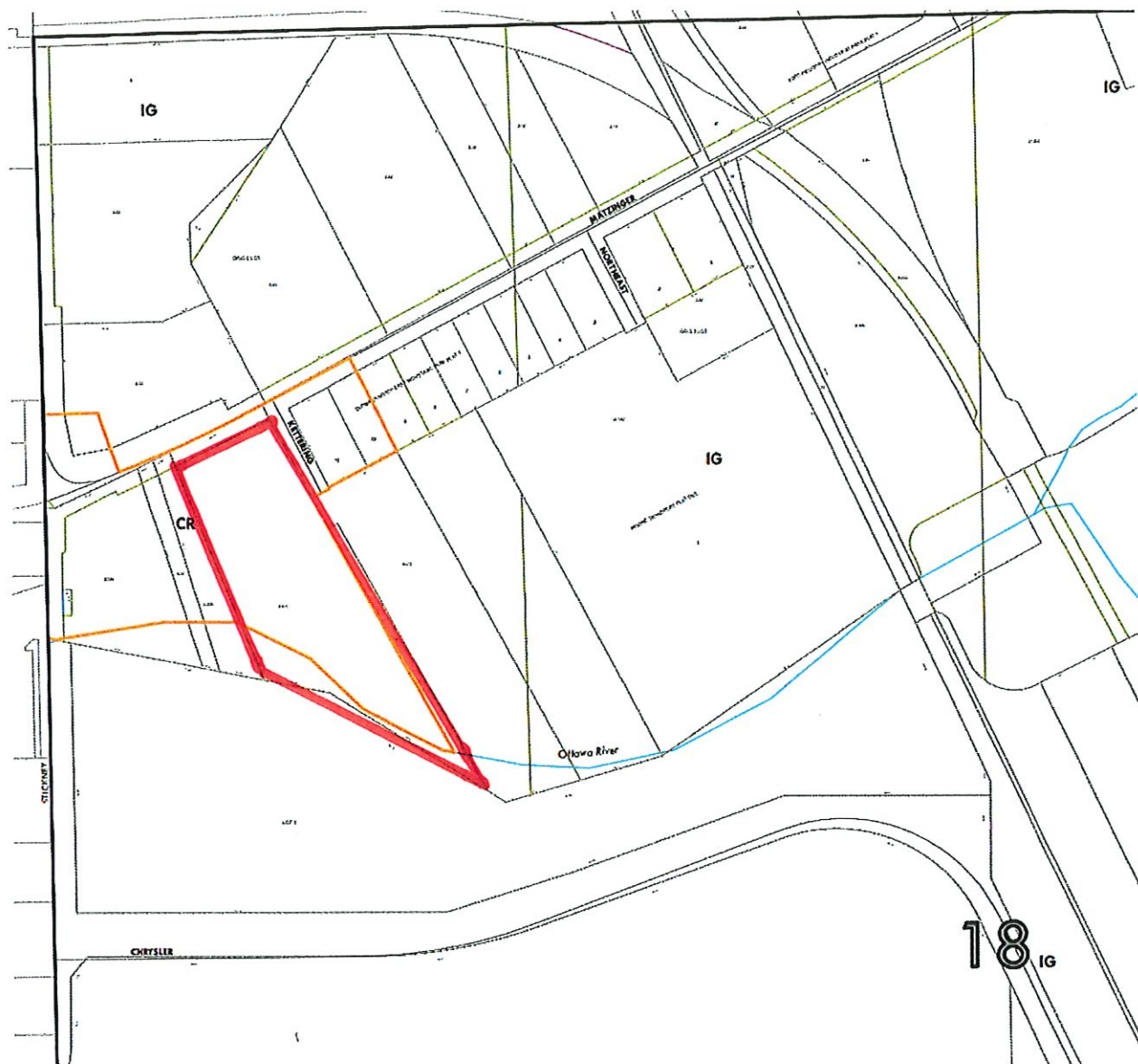




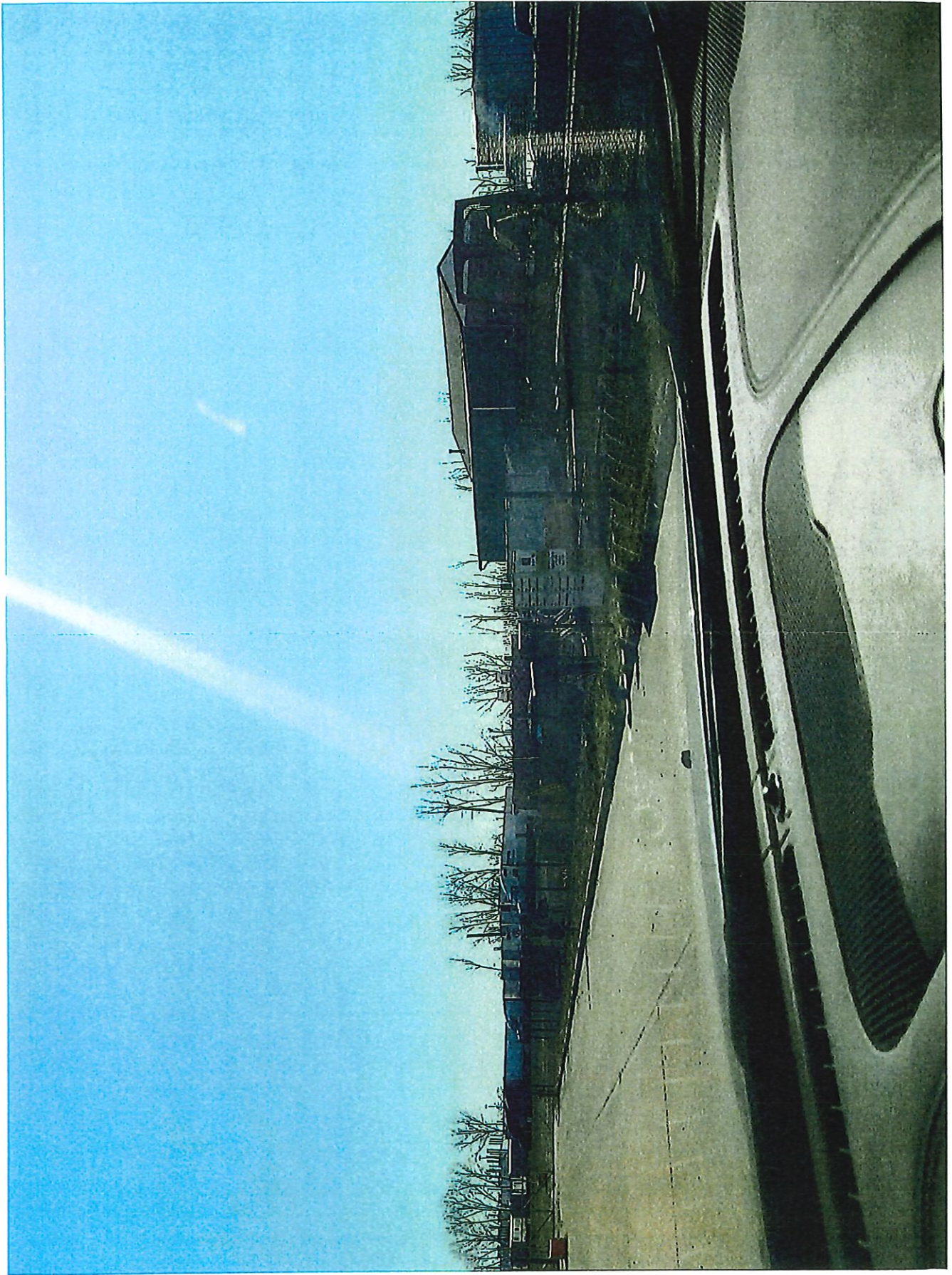
ESRI, Lucas County Auditor's 2021 | Lucas County Auditor's Office



6' No-Climb Fence along road Estimated 600 Feet













1-16



1-17

PARCEL ID: 2280706
 MARKET AREA: 5001C
 CCW VENTURES LLC
 TAX YEAR: 2024

ASSESSOR#: 02917052
 ROLL: RP_OH
 820 MATZINGER RD
 STATUS: Active

Summary - General

Tax District	TOLEDO CITY - WASHINGTON LSD
Class	COMMERCIAL
Land Use	499 : C - OTHER COMMERCIAL STRUCTURES
Special Use	499 - OTHER COMMERCIAL STRUCTURE
Market Area	5001C - Click here to view map
Zoning Code	10-MX - Click here for zoning details
Zoning Description	Mixed Zoned Parcel
Water and Sewer	CITY WATER / CITY SEWER
Traffic	SECONDARY ROAD
Street Type	CONCRETE OR BLACKTOP
Owner	CCW VENTURES LLC
Property Address	820 MATZINGER RD TOLEDO OH 43612
Mailing Address	812 MATZINGER RD TOLEDO OH 43612
Legal Desc.	8 9 18 LOTS 2 & 3 ... IRREG PCE SE MATZINGER RD & NW CEN OTTAWA RIVER MEAS 284.15 FT FRT 659.74 FT SW LINE 400 FT & 868.41 FT NE LINE
Certified Delinquent Year	
Census Tract	56.02

Summary - Most Recent Sale

Prior Owner	MATZINGER PROPERTY INC
Sale Amount	\$400,000
Deed	22103178
Sales Date	26-APR-2022

Summary - Values

	35% Values	100% Values	35% Roll	100% Roll
Land	30,560	87,300	0	0
Building	55,480	158,500	0	0
Total	86,040	245,800	0	0

Tax Credits

Homestead Exemption	NO
Owner Occupied Credit	NO
CAUV	NO
Agricultural District	NO

Printed on Tuesday, May 7, 2024, at 11:13:09 AM EST

1-18

CASE # BZA-0010

CITY OF TOLEDO

Department of Building and Code Compliance

Division of Building Inspection

One Government Center, Suite 1600 • Toledo, OH 43604 • Phone (419) 245-1220 • Fax (419) 245-1329 • www.toledo.oh.gov

APPLICATION TO THE ADMINISTRATIVE BOARD OF ZONING APPEAL (BZA)

TMC Chapter 1112.0200

Site Location 5945 Corson Dr. Toledo OH 43612 Zoning District RS6 Date 4-11-24Legal Description McClains Hopewell HGTS Lots 168 + 169Applicant's Name (print) Haley Colombaro

Appeal (Dept. of Inspection ruling - Title Nine Sign Code) _____ Hardship Variance _____

Exception X Appeal decision _____ ADA Accommodation _____TMC § 1105.0301(A) Fences may not exceed 3 1/2' in height in required front setback
Seeking Variance to go 18" above requirement and put up five foot chain
link fenceApplicant Signature [Signature] Phone 419-975-7458Applicant's Street Address 5945 Corson Dr Fax _____Applicant's City, State, Zip Toledo OH 43612 E-Mail haley.colombaro@gmail.com

Applications must be accompanied with:

1. 3 photos - showing different views of the site.
2. Letter explaining your zoning request with full and accurate information.
3. Complete, clear site plan - recommended scale 1"=20' on 8-1/2" x 11" paper showing dimensions to all lot lines and the size of all structures on the premises.
4. Fee = \$200 Checks may be made payable to "City of Toledo."

Applicant:

You should receive a written notice of the staff recommendation no later than Wednesday preceding the hearing date. Please call (419) 245-1220 if you do not receive this notice.

Return the application documents by mail to: Division of Building Inspection, One Government Center, Suite 1600, Toledo, OH 43604; or in person with the application documents and fee. Applications are due 6 weeks before the Board of Zoning Appeals' meeting to allow proper notification of neighbors. Meetings are typically held the third Monday of every month at 10:00 AM. in City Council Chambers, One Government Center, Toledo, OH 43604. The applicant or the applicant's representative must be present.

+++++ OFFICE USE +++++

Permit Tech Checklist: Application complete ✓ Photos ✓ Letter ✓ Proper Site Plan ✓ SWO XCopy Zoning Map 72 ✓ http://local.live.com/ Transportation notified to check site distance hazard compleCode Enforcement notified if orders are being appealed. X Permit Tech's Initials JH Date 4/15/24

Reviewed by _____ Date _____ Staff Recommendation _____

Board Decision _____ Date _____

P., Inspection, BZA

3/15/2024 kjr

2-1

HEARING DATE: **June 17, 2024**
 BZA NO: **BZA24-0010**
 APPLICANT: **Haley Colombaro**
 SITE LOCATION: **5945 Curson Dr**
 ZONING DISTRICT: **RS6**
 SWO or NOL Issued: **N/A**
 ANALYSIS: **Applicant requests variance from TMC 1105.0301 (A) for a 5' fence in the front setback along Curson and Sarasota.**
 STAFF COMMENTS: **N/A**

BOARD ACTION:

MOTION TO APPROVE/DISAPPROVE:	1 ST /2 ND MOTIONS	1 ST /2 ND IF 2 ND MOTION	YEA	NAY	ABSENT	RECUSE	LEFT BEFORE VOTE TAKEN
Christy Soncrant	_____	_____	_____	_____	_____	_____	_____
DeVon Overton	_____	_____	_____	_____	_____	_____	_____
Carrie Hartman	_____	_____	_____	_____	_____	_____	_____
Rob Pasker	_____	_____	_____	_____	_____	_____	_____
Eric Craig	_____	_____	_____	_____	_____	_____	_____
Nathan Knapke	_____	_____	_____	_____	_____	_____	_____
Steve Serchuk	_____	_____	_____	_____	_____	_____	_____

VOTING RESULTS:

APPROVED _____ DISAPPROVED _____ DEFERRED _____ WITHDRAWN _____

CONDITIONS OF APPROVAL:

HEARING DATE: May 20, 2024
 BZA NO: BZA24-0010
 APPLICANT: Haley Colombaro
 SITE LOCATION: 5945 Curson Dr
 ZONING DISTRICT: CR
 SWO or NOL Issued: N/A
 ANALYSIS: Applicant requests variance from TMC 1105.0301 (A) for a 5' fence in the front setback along Curson and Sarasota.
 STAFF COMMENTS: N/A

BOARD ACTION:

MOTION TO APPROVE/DISAPPROVE:	1 ST /2 ND MOTIONS	1 ST /2 ND IF 2 ND MOTION	YEA	NAY	ABSENT	RECUSE	LEFT BEFORE VOTE TAKEN
Christy Soncrant	_____	_____	_____	_____	_____	_____	_____
DeVon Overton	_____	_____	_____	_____	_____	_____	_____
Carrie Hartman	_____	_____	_____	_____	_____	_____	_____
Rob Pasker	_____	_____	_____	_____	_____	_____	_____
Eric Craig	_____	_____	_____	_____	_____	_____	_____
Nathan Knapke	_____	_____	_____	_____	_____	_____	_____
Steve Serchuk	_____	_____	_____	_____	_____	_____	_____

VOTING RESULTS:

APPROVED _____ DISAPPROVED _____ DEFERRED _____ WITHDRAWN _____

CONDITIONS OF APPROVAL:

NO SHOW

To whom it may concern,

I am asking that I may be allowed to have a five foot in height chain link fence around the perimeter of my yard. I purchased the home on February 28th, 2024. With choosing a chain link fence I am keeping drivers visibility in mind with this choice as to not obstruct their view of either street that borders my property. I am asking for this height due to many reasons. I am on a corner lot and have witnessed people walking through my property to get to the other street already and this does pose a security issue for my property. I have seen tire impressions in my yard entering from Sarasota however these are older impressions and I have not seen any fresh ones yet during the month and a half that I lived here thus far. I have two small children ages five and four and as a parent I would like to keep them safe from traffic that travels down both streets along my property. I know that most accidents happen on corners in the side streets of residential areas and would like to offer the protection of a five foot fence for my children. Along with these reasons I also have a large breed dog and the five foot fence would allow for him to be safely inside my property at all times. I will post private property signs along with canine notification signs as well. As per the current wooden six foot fence on the north side of my property I would also like to replace that with the same five foot chain link fencing in order to protect my property. As you can see from the photo provided the neighbors park facing the fence line and I believe that during the winter weather or their negligence that they have run into the current fence multiple times. I would like to use the much stronger fence that I suggested in order to keep their vehicles from making impact into my shed and attached garage. I have noticed that other properties near me have fencing that also exceeds the three and a half foot guidelines per the city code as well. I will be reaching out to an official who knows the exact footage for how far from the street the fence can be erected and I will meet those guidelines as well.

Haley Colombaro

Hooks, Jason

To: Galambos, Aaron
Subject: RE: Transportation Review BZA24-0010
Attachments: 20240415091129518.pdf

Hello Aaron,

Please see attached for the Board of Zoning Appeals application for BZA24-0010 for 5' chain link fence in front yard setback on a corner lot

Let me know the decision on the review and let me know if there are any questions I can assist with!

Thank you,

Jason Hooks

Permit Technician
Division of Building Inspection
Office 419-245-1220
Fax 419-245-1329
One Government Center – Suite 1600
Toledo, OH 43604
jason.hooks@toledo.oh.gov



Hooks, Jason

From: Galambos, Aaron
Sent: Monday, April 15, 2024 11:17 AM
To: Hooks, Jason
Cc: toledobi
Subject: RE: Transportation Review BZA24-0010
Attachments: 20240415111522585.pdf

Jason

Please see attachment for BZA24-0010.

Aaron Galambos
Engineering Associate
Department of Transportation
Division of Traffic Management
aaron.galambos@toledo.oh.gov
office 419-245-1300
→ toledo.oh.gov



From: Hooks, Jason <Jason.Hooks@toledo.oh.gov>
Sent: Monday, April 15, 2024 9:07 AM
To: Galambos, Aaron <Aaron.Galambos@toledo.oh.gov>
Subject: RE: Transportation Review BZA24-0010

Hello Aaron,

Please see attached for the Board of Zoning Appeals application for BZA24-0010 for 5' chain link fence in front yard setback on a corner lot

Let me know the decision on the review and let me know if there are any questions I can assist with!

Thank you,

Jason Hooks

Permit Technician
Division of Building Inspection
Office 419-245-1220
Fax 419-245-1329
One Government Center – Suite 1600
Toledo, OH 43604



82A24-0010

CASE # _____

CITY OF TOLEDO

Department of Building and Code Compliance

Division of Building Inspection

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APPLICATION TO THE ADMINISTRATIVE BOARD OF ZONING APPEAL (BZA)

TMC Chapter 1112.0200

Site Location 5945 Curson Dr. Toledo OH 43612 Zoning District RS6 Date 4-11-24Legal Description McClains Hopewell HGTS Lots 168 & 169Applicant's Name (print) Haley Colombaro

Appeal (Dept. of Inspection ruling - Title Nine Sign Code) _____ Hardship Variance _____

Exception X Appeal decision _____ ADA Accommodation _____TMC § 1105.0301(A) Fences may not exceed 3 1/2' in height in required front setback
Seeking Variance to go 18" above requirement and put up five foot chain
link fenceApplicant Signature [Signature] Phone 419-975-7458Applicant's Street Address 5945 Curson Dr Fax _____Applicant's City, State, Zip Toledo OH 43612 E-Mail haley.colombaro@gmail.com

Applications must be accompanied with:

1. 3 photos -- showing different views of the site
2. Letter explaining your zoning request with full and accurate information.
3. Complete, clear site plan -- recommended scale 1"=20' on 8-1/2" x 11" paper showing dimensions to all lot lines and the size of all structures on the premises.
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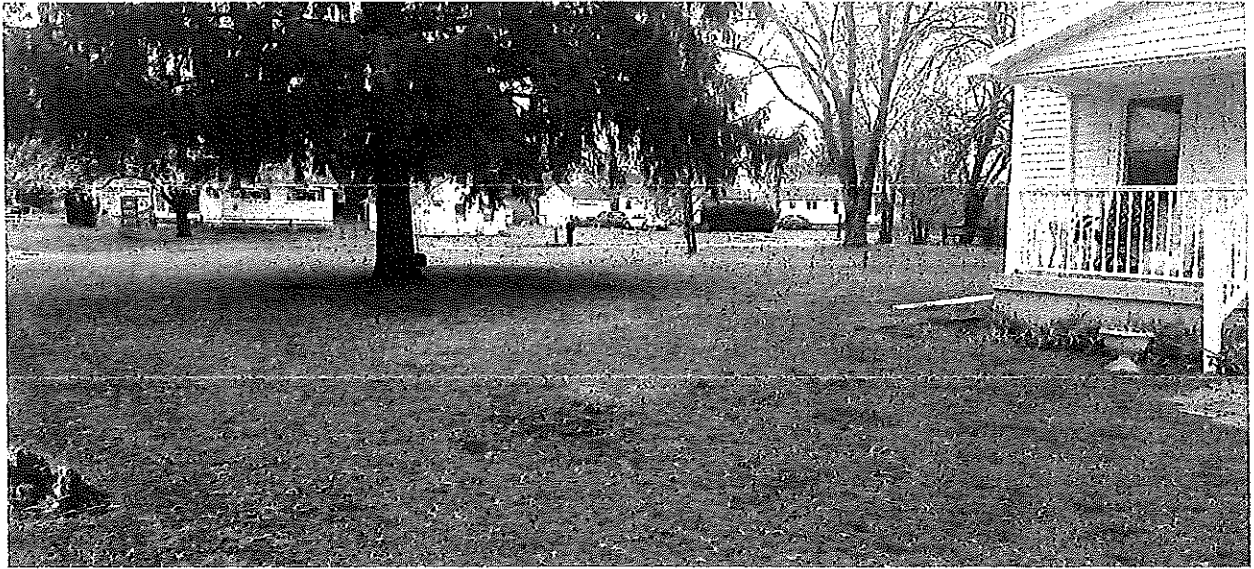
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Board Decision _____ Date _____

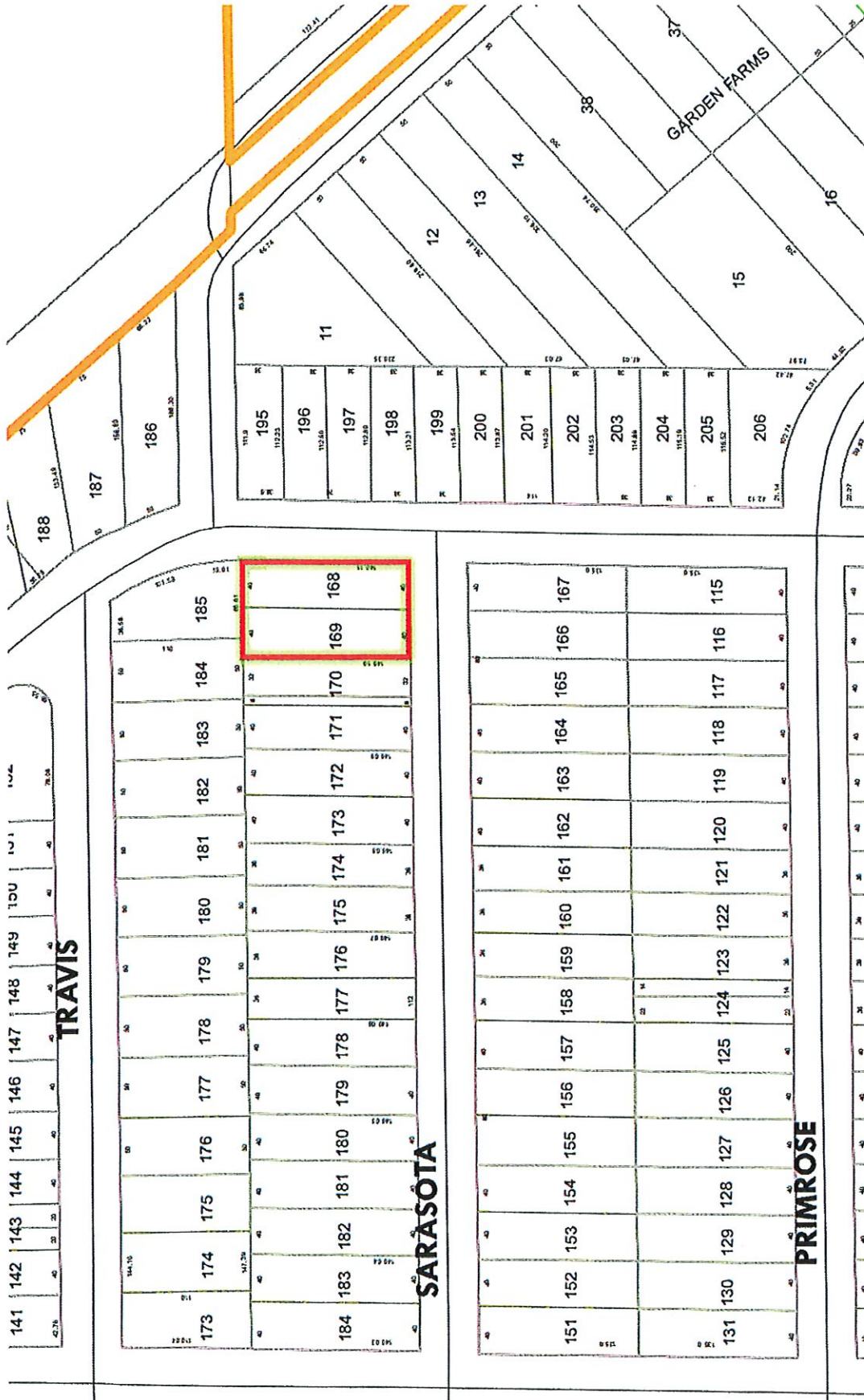
P:, Inspection, BZA

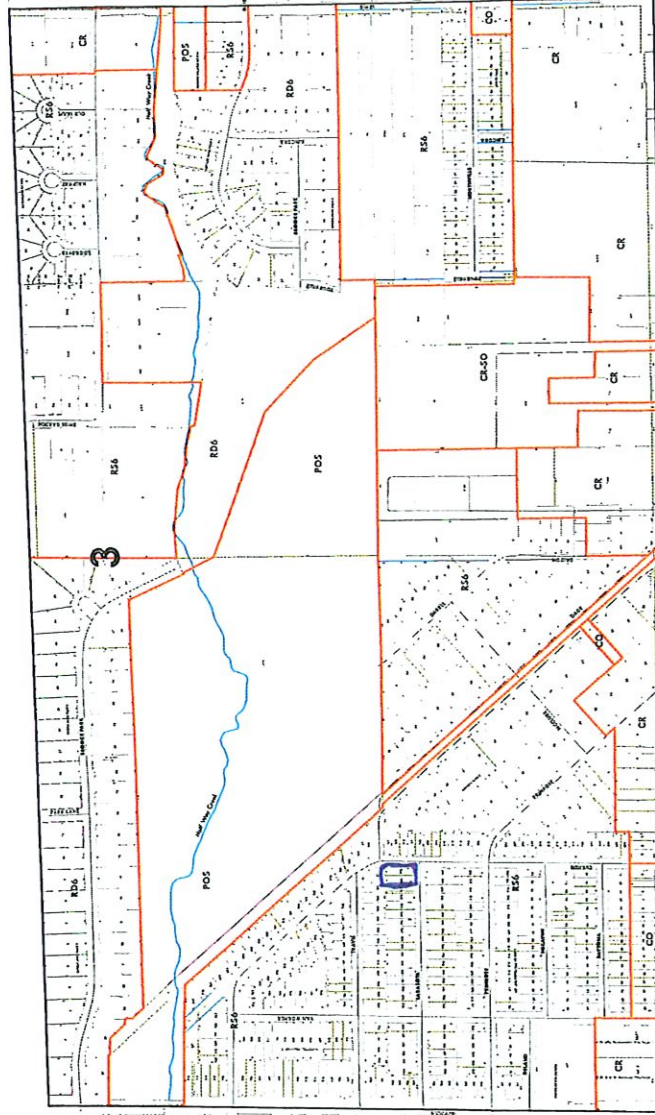
3/15/2024 kjr

2-6









Zoning information on this map is for general reference purposes only. For official zoning determinations please contact the Toledo-Lucas County Plan Commissions. Note: These maps do not include historical Community Unit Plans (CUPs).

Date Printed: 3/25/2021



PARCEL ID: 2338557
 MARKET AREA: 316R
 COLOMBARO HALEY
 TAX YEAR: 2024

ASSESSOR#: 03550001
 ROLL: RP_OH
 5945 CURSON DR
 STATUS: Active

Summary - General

Tax District	TOLEDO CITY - WASHINGTON LSD
Class	RESIDENTIAL
Land Use	510 : R - SINGLE FAMILY DWELLING, PLATTED LOT
Special Use	510 - 1 FAMILY-PLAT
Market Area	316R - Click here to view map
Zoning Code	10-RS6 - Click here for zoning details
Zoning Description	Single-Family Residence-6
Water and Sewer	CITY WATER / CITY SEWER
Traffic	RESIDENTIAL SIDE STREET
Street Type	CONCRETE OR BLACKTOP
Owner	COLOMBARO HALEY
Property Address	5945 CURSON DR TOLEDO OH 43612
Mailing Address	5945 CURSON ST TOLEDO OH 43612
Legal Desc.	MCLAINS HOPEWELL HGTS LOTS 168 & 169
Certified Delinquent Year	
Census Tract	58.01

Summary - Most Recent Sale

Prior Owner	SOPHER JERRY MICHAEL & LINDA LEE
Sale Amount	\$130,000
Deed	24101157
Sales Date	04-MAR-2024

Summary - Values

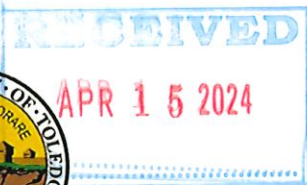
	35% Values	100% Values	35% Roll	100% Roll
Land	5,320	15,200	5,320	15,200
Building	16,980	48,500	16,980	48,500
Total	22,300	63,700	22,300	63,700

Tax Credits

Homestead Exemption	NO
Owner Occupied Credit	NO
CAUV	NO
Agricultural District	NO

Printed on Tuesday, May 7, 2024, at 11:16:23 AM EST

2-12

CASE # BZA-24-0011

CITY OF TOLEDO

Department of Economic and Business Development

Division of Building Inspection

One Government Center, Suite 1600 • Toledo, OH 43604 • Phone (419) 245-1220 • Fax (419) 245-1329 • www.toledo.oh.gov

APPLICATION TO THE ADMINISTRATIVE BOARD OF ZONING APPEAL (BZA)

TMC Chapter 1112.0200

Site Location 5745 & 5715 Angola Road, Toledo, OH 43615 Zoning District IG Date 4/12/24Legal Description 26-11754: 2 14 NW 1/4 E 200 FT W 1754.6 FT OF TH T PT W 130 AC N OF RR
26-11774: 2 14 NW 1/4 E 170 FT W 1924.6 FT LYING N OF LS & MS RR
26-11771: 2 14 NW 1/4 E 180 FT THT PT E 55 AC W 130 AC PT N OF RR EXC W 623 FTApplicant's Name (print) Tim Volchko - Civil & Environmental Consultants, Inc.Appeal (Dept. of Inspection ruling - Title Nine Sign Code) _____ Hardship Variance X

Exception _____ Appeal decision _____ ADA Accommodation _____

TMC § 1107.1906Applicant Signature Tim Volchko Phone (614) 330-9743Applicant's Street Address 250 Old Wilson Bridge Road, Ste 250 Fax _____Applicant's City, State, Zip Worthington, OH 43085 E-Mail tvolchko@cecinc.com

Applications must be accompanied with:

1. 3 photos - showing different views of the site
2. Letter explaining your zoning request with full and accurate information.
3. Complete, clear site plan - recommended scale 1"=20' on 8-1/2" x 11" paper showing dimensions to all lot lines and the size of all structures on the premises.
4. Fee = \$200 Checks may be made payable to "City of Toledo."

Applicant:

You should receive a written notice of the staff recommendation no later than Wednesday preceding the hearing date. Please call (419) 245-1220 if you do not receive this notice.

Return the application documents by mail to: Division of Building Inspection, One Government Center, Suite 1600, Toledo, OH 43604; or in person with the application documents and fee. Applications are due 6 weeks before the Board of Zoning Appeals' meeting to allow proper notification of neighbors. Meetings are typically held the third Monday of every month at 1:30 p.m. in City Council Chambers, One Government Center, Toledo, OH 43604. The applicant or the applicant's representative must be present.

+++++ OFFICE USE +++++

Permit Tech Checklist: Application complete ☒ Photos ☒ Letter ☒ Proper Site Plan ☒ SWO _____Copy Zoning Map http://local.live.com/ Transportation notified to check site distance hazard _____Code Enforcement notified if orders are being appealed. _____ Permit Tech's Initials B Date 4-18-24

Reviewed by _____ Date _____ Staff Recommendation _____

Board Decision _____ Date _____

P:, Inspection, BZA

3/15/2022 kjr

3-1

HEARING DATE: **June 17, 2024**
 BZA NO: **BZA24-0011**
 APPLICANT: **Tim Volchko**
 SITE LOCATION: **5745/5715 Angola Rd**
 ZONING DISTRICT: **IG**
 SWO or NOL Issued: **N/A**
 ANALYSIS: **Applicant requests variance from TMC 1107.1906 (A) to leave existing gravel parking lot.**
 STAFF COMMENTS: **Building Inspection cannot opine on waiving requirements of the internal storm drainage system. This is handled by Engineering Services.**

BOARD ACTION:

MOTION TO APPROVE/DISAPPROVE:	1 ST /2 ND MOTIONS	1 ST /2 ND IF 2 ND MOTION	YEA	NAY	ABSENT	RECUSE	LEFT BEFORE VOTE TAKEN
Christy Soncrant	_____	_____	_____	_____	_____	_____	_____
DeVon Overton	_____	_____	_____	_____	_____	_____	_____
Carrie Hartman	_____	_____	_____	_____	_____	_____	_____
Rob Pasker	_____	_____	_____	_____	_____	_____	_____
Eric Craig	_____	_____	_____	_____	_____	_____	_____
Nathan Knapke	_____	_____	_____	_____	_____	_____	_____
Steve Serchuk	_____	_____	_____	_____	_____	_____	_____

VOTING RESULTS:

APPROVED _____ DISAPPROVED _____ DEFERRED _____ WITHDRAWN _____

CONDITIONS OF APPROVAL:

1107.1906 Surfacing and Drainage

Off-street parking and loading spaces, parking lots, maneuvering areas, aisles and driveways must be surfaced with concrete, bituminous asphalt, or other dust-free material other than gravel or loose fill, and be graded to drain all surface water towards the interior of the parking lot, or to a stormwater system subject to the regulations and approval of the Department of Public Utilities.

A. An internal storm drainage system must be provided and connected to the nearest outlet, subject to the regulations and approval of the Department of Public Utilities.

B. All off-street parking, loading and other vehicle circulation areas must be graded and continuously maintained and designed to preclude free flow of stormwater across or onto adjacent lots, properties, or streets.

C. Concrete curbs may also be required as part of the overall drainage design for all or part of the parking lot or driveway perimeter.

D. The Planning Director may authorize all or a portion of required off-street parking spaces (not to include drive aisles) to be provided on permeable/porous surfaces. A permeable/porous parking area shall be maintained by the property owner for its intended function for the duration of its life.

(Ord. 253-09. Passed 4-28-09; Ord. 155-16. Passed 04-26-16.)



April 15, 2024

City of Toledo
Board of Zoning Appeals
One Government Center, Suite 1600
Toledo, OH 43604

To Whom it May Concern:

Subject: Waiver Request – AIM Transportation Solutions
5715-5745 Angola Road
CEC Project 336-191

Civil & Environmental Consultants, Inc (CEC) respectfully requests for the Board of Zoning Appeals (BZA) to waive the requirement to provide pavement and a stormwater management basin (pond) for the existing truck yard on the site associated with Lucas County Auditor parcel IDs (PID) 26-11771 and 26-11774.

Based on aerial photography, the site looks to have had a gravel parking area going back to at least 1993. Sometime around 2009 the eastern portion of the site was not maintained, and vegetation grew through the gravel. The aerial photo from October 2010 and July 2011 shows the vegetation looks to have been mowed, as there looks to be lines created by a lawnmower. Sometime prior to October 2015 the site was refreshed with new gravel. Based on aerial photography the refreshed gravel looks to have been maintained since 2015. In summary, this site looks to have had a gravel parking area for the last 30 years.

Sheetz, Inc. intends to lease a portion of these two parcels from AIM Transportation Solutions to be used as truck parking for Sheetz distribution fleet. As part of this agreement, Sheetz intends to make improvements to the site including the addition of a modular building, shed & fencing. These improvements will be submitted to the City for approval. As part of these improvements, Sheetz would like to utilize the existing gravel parking lot, as Sheetz is not proposing a change in use to the site.

Assuming the existing gravel parking lot is allowed to remain as is, CEC also requests the stormwater management requirements not be required for this site. Presumably, the gravel parking lot has been in place on this site prior to the City's stormwater management requirements & therefore the site would likely be grandfathered from said requirements until the site is redeveloped.

Please see the attached exhibits showing the existing conditions and proposed conditions of the site. Additionally, there several exhibits showing aerial photography over the past few decades to illustrate the site's history.

City of Toledo
CEC Project 336-191
Page 2
April 15, 2024

Sincerely,

CIVIL & ENVIRONMENTAL CONSULTANTS, INC.



Tim Volchko, P.E.
Principal



Jon Hammond, P.E.
Project Manager

Enclosures: Existing Conditions (EX-02A)
Proposed Conditions (EX-02B)
Historical Aerials 1993, 2009, 2010, 2011, 2015, 2023

EXISTING CONDITIONS (EX-02A)



NORTH

SUN HOMES SERVICES
PID 26-00424
5702 ANGOLA RD

EXISTING ACCESS
DRIVE TO REMAIN

550.00'

ANGOLA ROAD
(PUBLIC - R/W VARIES)

BUSCH LEASING LLC
PID 26-11754
5745 ANGOLA RD
1.82 AC.

EXISTING GRAVEL
PARKING AREA

ORANGE CAT LLC
PID 26-11764
5645 ANGOLA RD
1.51 AC.

301.73'

SUBJECT
PROPERTY LINE

AREA OF
INTEREST

562.16'

PENNSYLVANIA LINES LLC
PID 26-99001
HOLLAND SYLVANIA RD

JUSTIN & IVY GRIER
PID 26-80927
5690 GREENRIDGE DR
0.96 AC.

PARCEL OWNER INDEX

1 BUSCH LEASING LLC
PID 26-11774
5715 ANGOLA RD
1.37 AC.

4 JANET S BARKER
PID 26-80934
5700 GREENRIDGE DR
0.36 AC.

2 BUSCH LEASING LLC
PID 26-11771
5715 ANGOLA RD
1.32 AC.

5 MICHELLE L HASTY
PID 26-80937
5708 GREENRIDGE DR
0.29 AC.

3 PREFERRED PROPERTIES INC
PID 26-80931
5696 GREENDIGE DR
0.52 AC.

6 MARSHALL J WOLF
PID 26-80941
5746 GREENRIDGE LN
0.29 AC.

REFERENCES

1. EXISTING BOUNDARY SHOWN PER BOUNDARY SURVEY COMPLETED BY CEC NOVEMBER 2023.
2. EXISTING BASE MAP INFORMATION SHOWN PER LUCAS COUNTY AUDITOR ACCESSED JULY 2023.
3. AERIAL PHOTOGRAPHY OBTAINED FROM OHIO GEOGRAPHICALLY REFERENCED INFORMATION PROGRAM ACCESSED MARCH 2024.

SCALE IN FEET



Civil & Environmental
Consultants, Inc.

250 W. Old Wilson Bridge Road
Suite 250
Worthington, OH 43085
Ph: 614.540.6633
www.cecinc.com

SHEETZ, INC.
AIM TRANSPORTATION SOLUTIONS
5715 ANGOLA ROAD
CITY OF TOLEDO, LUCAS COUNTY, OH

EXISTING CONDITIONS

DRAWN BY:	JTH	CHECKED BY:	TJV	APPROVED BY:	DRAFT	EXHIBIT:
DATE:	APRIL 2024	DWG SCALE:	1"=100'	PROJECT NO:	336-191	EX-02A

PROPOSED CONDITIONS (EX-02B)



ANGOLA ROAD
(PUBLIC - R/W VARIES)

SUN HOMES SERVICES
PID 26-00424
5702 ANGOLA RD

EXISTING ACCESS
DRIVE TO REMAIN

550.00'

MODULAR
BUILDING
(58'X27.59')

ORANGE CAT LLC
PID 26-11764
5645 ANGOLA RD
1.51 AC.

BADGE
READER

GATE

CAR
PARKING
SPACES

BUSCH LEASING LLC
PID 26-11754
5745 ANGOLA RD
1.82 AC.

CHAIN LINK
FENCE

301.73'

SHED
(12'X12')

TRUCK PARKING

SUBJECT
PROPERTY LINE

AREA OF
INTEREST

562.16'

PENNSYLVANIA LINES LLC
PID 26-99001
HOLLAND SYLVANIA RD

JUSTIN & IVY GRIER
PID 26-80927
5690 GREENRIDGE DR
0.96 AC.

PARCEL OWNER INDEX

1 BUSCH LEASING LLC
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SCALE IN FEET



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AIM TRANSPORTATION SOLUTIONS
5715 ANGOLA ROAD
CITY OF TOLEDO, LUCAS COUNTY, OH

PROPOSED CONDITIONS

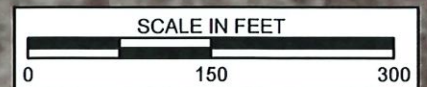
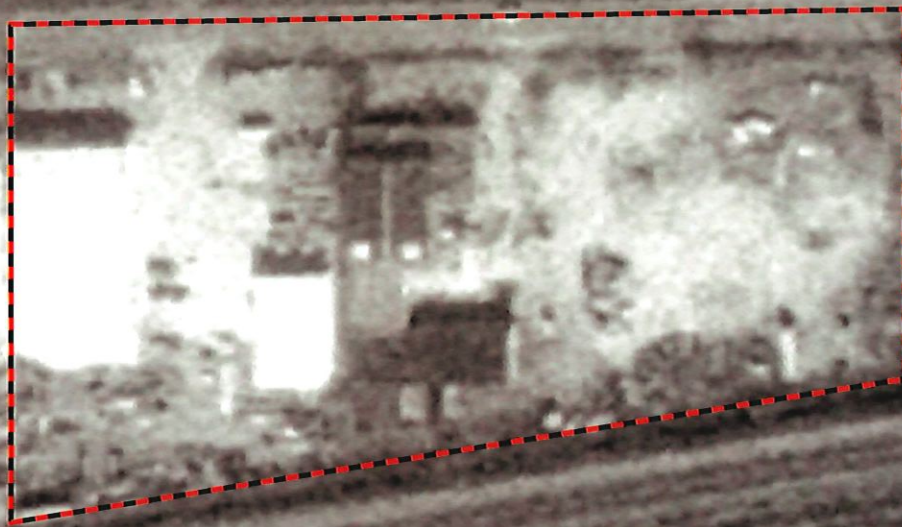
DRAWN BY:	JTH	CHECKED BY:	TJV	APPROVED BY:	DRAFT	EXHIBIT:
DATE:	APRIL 2024	DWG SCALE:	1"=100'	PROJECT NO:	336-191	

EX-02B

3-9

HISTORICAL AERIALS

1993, 2009, 2010, 2011, 2015, 2023



Civil & Environmental Consultants, Inc.

250 Old Wilson Bridge Road, Suite 250 - Worthington, OH 43085
614-540-6633 · 888-598-6808
www.cecinc.com

SHEETZ, INC.
AIM TRANSPORTATION SOLUTIONS
5715 ANGOLA ROAD
CITY OF TOLEDO, LUCAS COUNTY, OH

1993 HISTORIC AERIAL

DRAWN BY:	CENH	CHECKED BY:	DRAFT	APPROVED BY:	DRAFT*	FIGURE NO:	1
DATE:	4/9/2024	SCALE:	1"=150'	PROJECT NO:	336-191		

*Hand Signature on file

3-11



Civil & Environmental Consultants, Inc.
250 Old Wilson Bridge Road, Suite 250 - Worthington, OH 43085
614-540-6633 · 888-598-6808
www.cecinc.com

SHEETZ, INC.
AIM TRANSPORTATION SOLUTIONS
5715 ANGOLA ROAD
CITY OF TOLEDO, LUCAS COUNTY, OH

2009 HISTORIC AERIAL

DRAWN BY:	CENH	CHECKED BY:	DRAFT	APPROVED BY:	DRAFT*	FIGURE NO:	2
DATE:	4/9/2024	SCALE:	1"=150'	PROJECT NO:	336-191		

*Hand Signature on file

3-18

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614-540-6633 · 888-598-6808
www.cecinc.com

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AIM TRANSPORTATION SOLUTIONS
5715 ANGOLA ROAD
CITY OF TOLEDO, LUCAS COUNTY, OH

2010 HISTORIC AERIAL

DRAWN BY:	CENH	CHECKED BY:	DRAFT	APPROVED BY:	DRAFT*	FIGURE NO:	3
DATE:	4/9/2024	SCALE:	1"=150'	PROJECT NO:	336-191		

*Hand Signature on file

3-13



Civil & Environmental Consultants, Inc.

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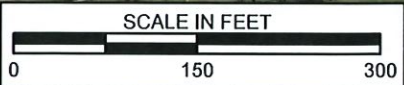
SHEETZ, INC.
AIM TRANSPORTATION SOLUTIONS
5715 ANGOLA ROAD
CITY OF TOLEDO, LUCAS COUNTY, OH

2011 HISTORIC AERIAL

DRAWN BY:	CENH	CHECKED BY:	DRAFT	APPROVED BY:	DRAFT*	FIGURE NO:	4
DATE:	4/9/2024	SCALE:	1"=150'	PROJECT NO:	336-191		

*Hand Signature on file

3-14



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SHEETZ, INC.
AIM TRANSPORTATION SOLUTIONS
5715 ANGOLA ROAD
CITY OF TOLEDO, LUCAS COUNTY, OH

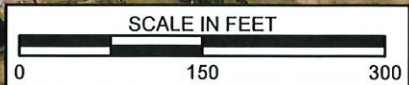
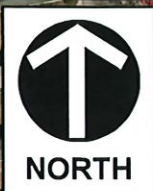
2015 HISTORIC AERIAL

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DATE:	4/9/2024	SCALE:	1"=150'	PROJECT NO:	336-191		

*Hand Signature on file

3-15

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5715 ANGOLA ROAD
CITY OF TOLEDO, LUCAS COUNTY, OH

2023 AERIAL

DRAWN BY:	CENH	CHECKED BY:	DRAFT	APPROVED BY:	DRAFT*	FIGURE NO:	6
DATE:	4/9/2024	SCALE:	1"=150'	PROJECT NO:	336-191		

*Hand Signature on file

3-16

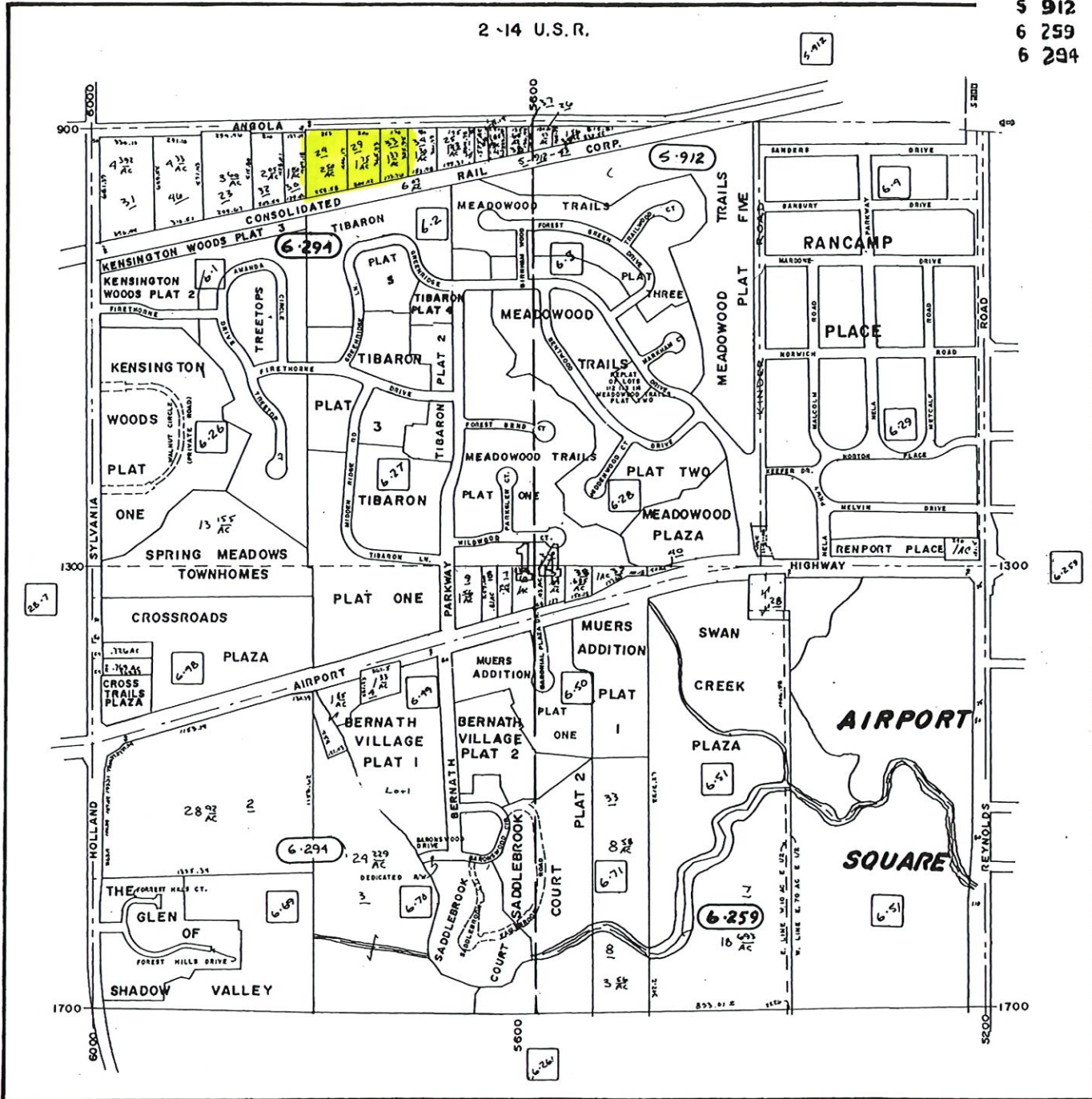
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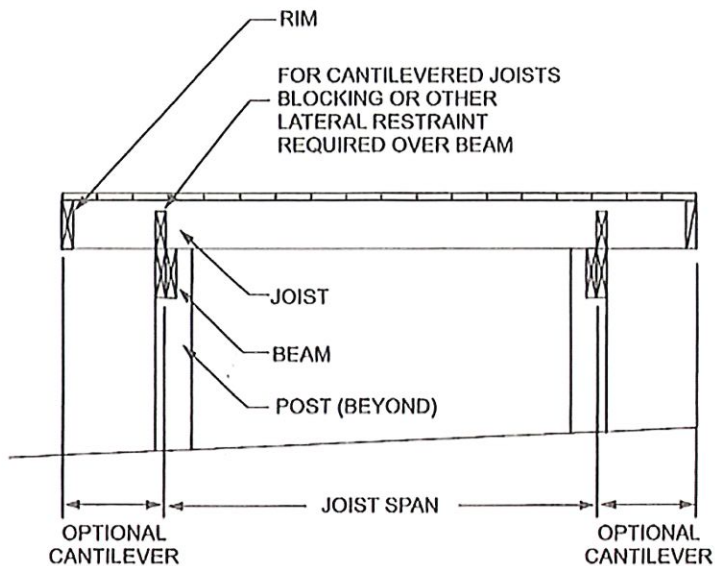
Final Revision - 31 December 2000

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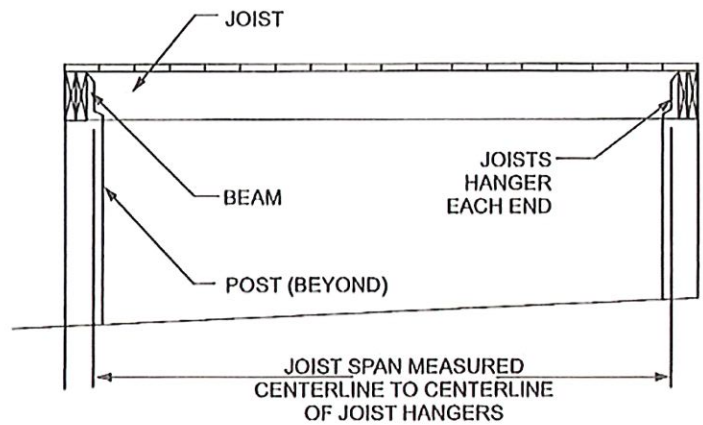
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6 259
6 294

2-14 U.S.R.





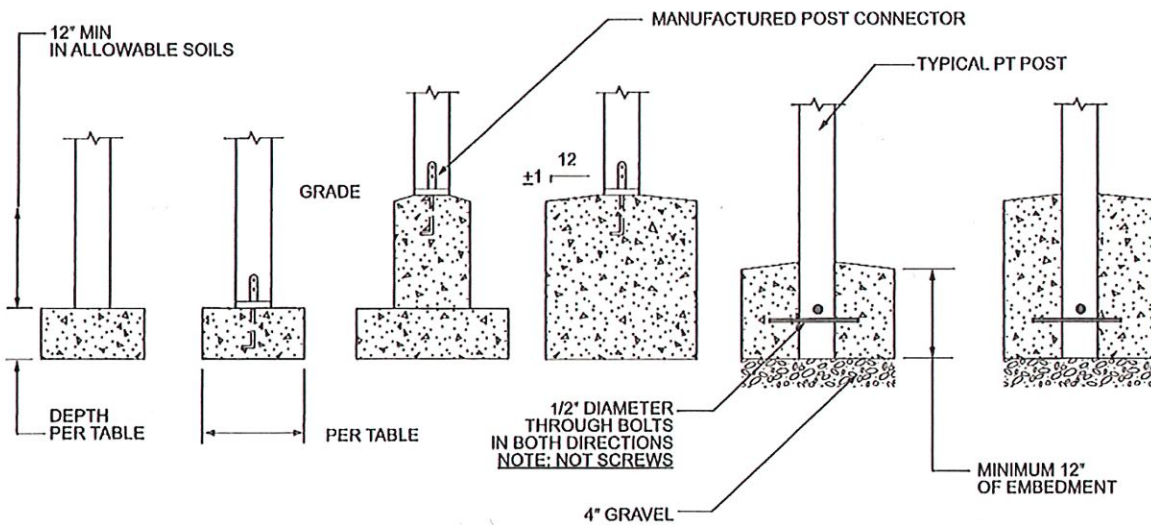
JOISTS ON FREE-STANDING DECK
WITH DROPPED BEAM



JOISTS ON FREE-STANDING DECK
WITH FLUSH BEAM

FIGURE 507.6
TYPICAL DECK JOIST SPANS

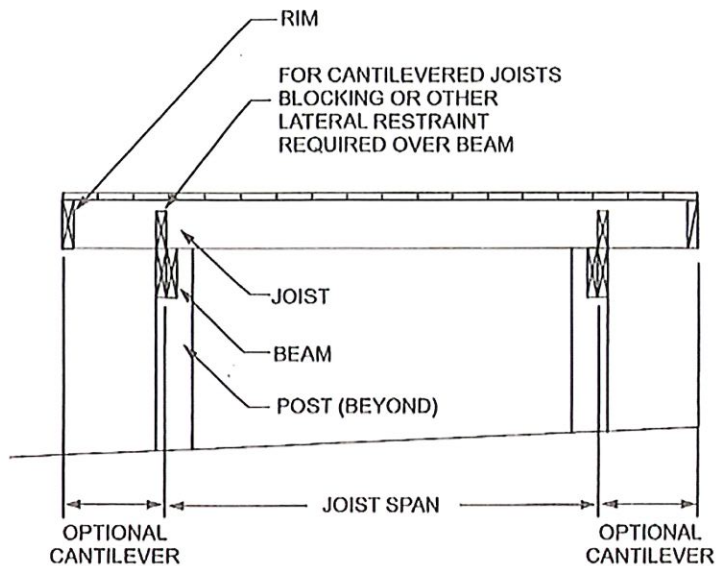
FLOORS



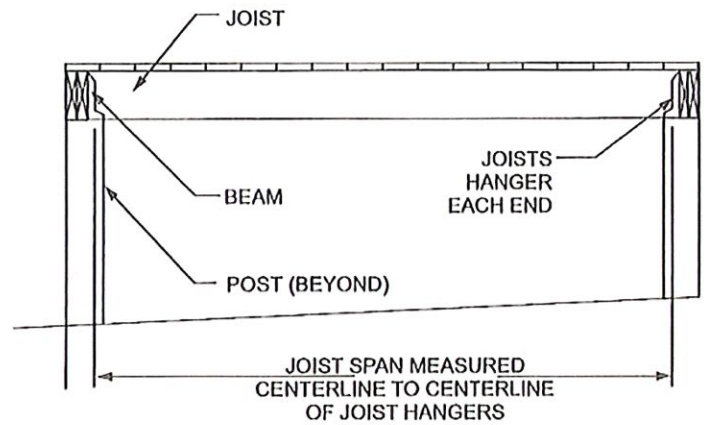
NOTE:
POSTS MUST BE CENTERED ON OR IN FOOTING

For SI: 1 inch = 25.4 mm.

FIGURE 507.3
DECK POSTS TO DECK FOOTING CONNECTION



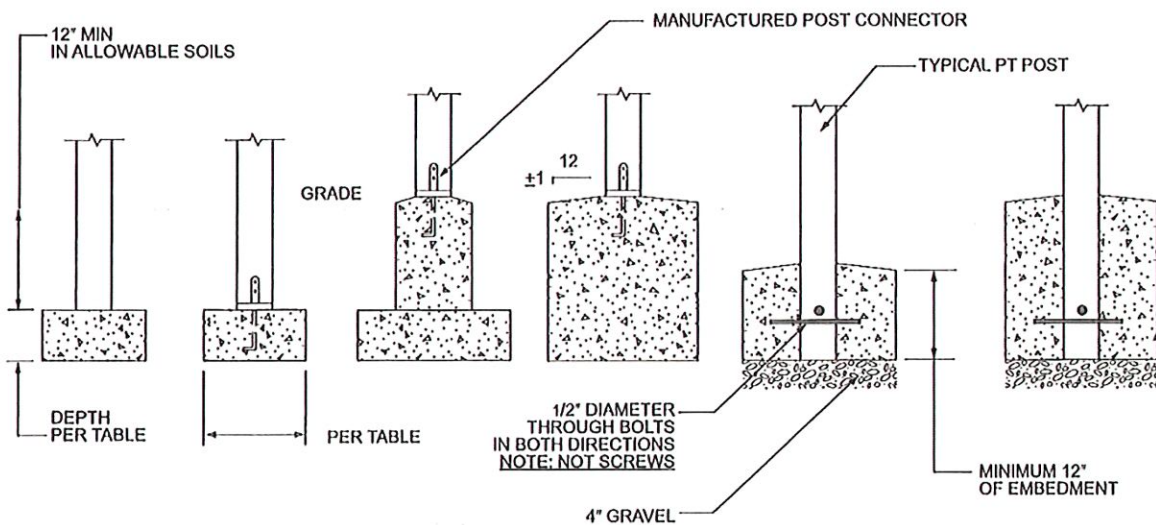
JOISTS ON FREE-STANDING DECK
WITH DROPPED BEAM



JOISTS ON FREE-STANDING DECK
WITH FLUSH BEAM

FIGURE 507.6
TYPICAL DECK JOIST SPANS

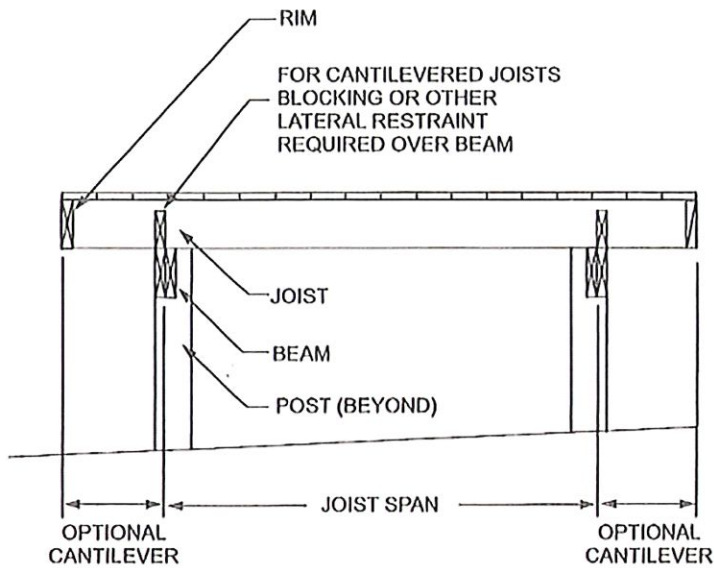
FLOORS



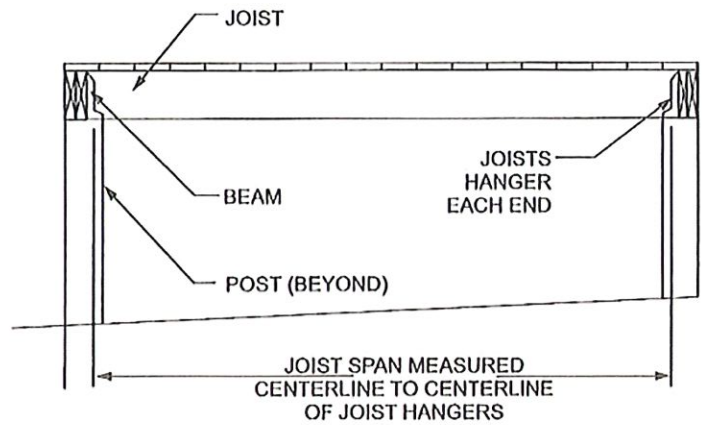
NOTE:
POSTS MUST BE CENTERED ON OR IN FOOTING

For SI: 1 inch = 25.4 mm.

FIGURE 507.3
DECK POSTS TO DECK FOOTING CONNECTION



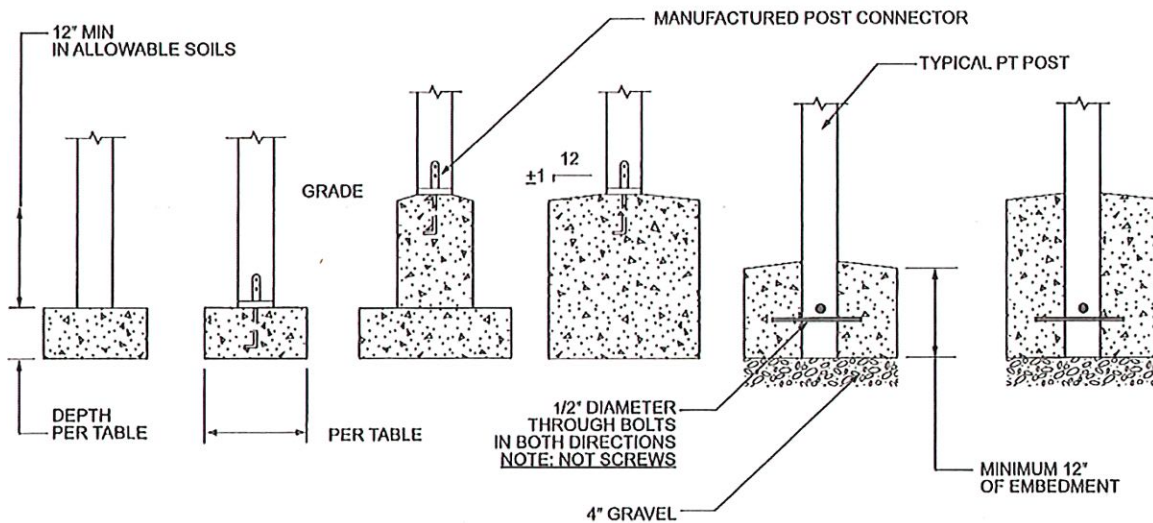
JOISTS ON FREE-STANDING DECK
WITH DROPPED BEAM



JOISTS ON FREE-STANDING DECK
WITH FLUSH BEAM

FIGURE 507.6
TYPICAL DECK JOIST SPANS

FLOORS



NOTE:
POSTS MUST BE CENTERED ON OR IN FOOTING

For SI: 1 inch = 25.4 mm.

FIGURE 507.3
DECK POSTS TO DECK FOOTING CONNECTION



RECEIVED

MAY 09 2024

BY: PK CITY OF TOLEDO

CASE # BZA-0014

Department of Economic and Business Development

Division of Building Inspection

One Government Center, Suite 1600 • Toledo, OH 43604 • Phone (419) 245-1220 • Fax (419) 245-1329 • www.toledo.oh.gov

APPLICATION TO THE ADMINISTRATIVE BOARD OF ZONING APPEAL (BZA)

TMC Chapter 1112.0201

Site Location 2049 Wildwood Blvd, Tol, OH 43614 Zoning District RS6 Date _____

Legal Description Wildwood 2nd Allotment, Lot 291

Applicant's Name (print) Elliot Adams + Patrick Kees

Appeal (Dept. of Inspection ruling - Title Nine Sign Code) _____ Hardship Variance _____

Exception X Appeal decision _____ ADA Accommodation _____

TMC § TMC 1105.0201 minimum front setback for

Accessory Structure. Proposed Shed 1' from property line in front

Applicant Signature Patrick Kees Phone 205.764.2977

Applicant's Street Address 2049 Wildwood Blvd. Fax _____

Applicant's City, State, Zip Toledo, OH 43614 E-Mail foccat46@gmail.com

Applications must be accompanied with:

1. 3 photos - showing different views of the site
2. Letter explaining your zoning request with full and accurate information.
3. Complete, clear site plan - recommended scale 1"=20' on 8-1/2" x 11" paper showing dimensions to all lot lines and the size of all structures on the premises.
4. Fee = \$200 Checks may be made payable to "City of Toledo."

Applicant:

You should receive a written notice of the staff recommendation no later than Wednesday preceding the hearing date. Please call (419) 245-1220 if you do not receive this notice.

Return the application documents by mail to: Division of Building Inspection, One Government Center, Suite 1600, Toledo, OH 43604; or in person with the application documents and fee. Applications are due 6 weeks before the Board of Zoning Appeals' meeting to allow proper notification of neighbors. Meetings are typically held the third Monday of every month at 1:30 p.m. in City Council Chambers, One Government Center, Toledo, OH 43604. The applicant or the applicant's representative must be present.

+++++ OFFICE USE +++++

Permit Tech Checklist: Application complete X Photos X Letter X Proper Site Plan X SWO —

Copy Zoning Map 34 <http://local.live.com/> Transportation notified to check site distance hazard ✓

Code Enforcement notified if orders are being appealed. — Permit Tech's Initials JH Date 5/13/2024

Reviewed by _____ Date _____ Staff Recommendation _____

Board Decision _____ Date _____

P; Inspection, BZA

3/15/2022 kjr

4-1

CASE # BZA-0014

CITY OF TOLEDO

Department of Economic and Business Development

Division of Building Inspection

One Government Center, Suite 1600 • Toledo, OH 43604 • Phone (419) 245-1220 • Fax (419) 245-1320 • www.toledo.oh.gov

APPLICATION TO THE ADMINISTRATIVE BOARD OF ZONING APPEAL (BZA)

TMC Chapter 1112.0200

Site Location 2049 Wildwood Blvd, Tol, OH 43614 Zoning District RS6 Date _____Legal Description Wildwood 2nd Addition, Lot 291Applicant's Name (print) Elliot Adams & Patrick Kees

Appeal (Dept. of Inspection ruling - Title Nine Sign Code) _____ Hardship Variance _____

Exception X Appeal decision _____ ADA Accommodation _____TMC §. TMC 1105.0201 minimum front setback for
Accessory structure. Purpose: Shed 1' from property line in frontApplicant Signature Patrick Kees Phone 205.764.2977Applicant's Street Address 2049 Wildwood Blvd. Fax _____Applicant's City, State, Zip Toledo, OH 43614 E-Mail foocat46@gmail.com

Applications must be accompanied with:

1. 3 photos - showing different views of the site
2. Letter explaining your zoning request with full and accurate information.
3. Complete, clear site plan - recommended scale 1"=20' on 8-1/2" x 11" paper showing dimensions to all lot lines and the size of all structures on the premises.
4. Fee = \$200 Checks may be made payable to "City of Toledo."

Applicant:

You should receive a written notice of the staff recommendation no later than Wednesday preceding the hearing date. Please call (419) 245-1220 if you do not receive this notice.

Return the application documents by mail to: Division of Building Inspection, One Government Center, Suite 1600, Toledo, OH 43604; or in person with the application documents and fee. Applications are due 6 weeks before the Board of Zoning Appeals' meeting to allow proper notification of neighbors. Meetings are typically held the third Monday of every month at 1:30 p.m. in City Council Chambers, One Government Center, Toledo, OH 43604. The applicant or the applicant's representative must be present.

***** OFFICE USE *****

Permit Tech Checklist: Application complete X Photos X Letter X Proper Site Plan X SWO —Copy Zoning Map 34 <http://local.live.com/> Transportation notified to check site distance hazard ✓Code Enforcement notified if orders are being appealed. — Permit Tech's Initials JH Date 5/13/2021Reviewed by _____ Date _____ Staff Recommendation TRANSPORTATION / TRAFFIC MANAGEMENTGIVES AN APPROVAL ONLY ALLOWING THE SHED TO BE NO CLOSER THAN 4'-2" TO THE WESTMEYER PROPERTY LINE MATCHING THE ADJACENT GARAGE

Board Decision _____ Date _____

P: Inspection, BZA

3/15/2022 kjr

BUILDING LINE SET BACK ON THE ADJACENT PROPERTY. APPROVED 5-13-24

HEARING DATE: June 17, 2024

BZA NO: BZA24-0014

APPLICANT: Elliott Adams & Patrick Kees

SITE LOCATION: 2049 Wildwood Blvd

ZONING DISTRICT: RS6

SWO or NOL Issued: N/A

ANALYSIS: Applicant requests variance from TMC 1105.0201 (C & D) for an accessory structure to be 1' 6" from side property line where 3' is required (C) and 1' from double frontage lot on Westmeyer where 25' is required (D). Applicant requests variance from TMC 1105.0300 (B) for a 6' high fence in the front (Westmeyer) yard where 42" is allowed.

STAFF COMMENTS: N/A

BOARD ACTION:

MOTION TO APPROVE/DISAPPROVE:	1 ST /2 ND MOTIONS	1 ST /2 ND IF 2 ND MOTION	YEA	NAY	ABSENT	RECUSE	LEFT BEFORE VOTE TAKEN
Christy Soncrant	_____	_____	_____	_____	_____	_____	_____
DeVon Overton	_____	_____	_____	_____	_____	_____	_____
Carrie Hartman	_____	_____	_____	_____	_____	_____	_____
Rob Pasker	_____	_____	_____	_____	_____	_____	_____
Eric Craig	_____	_____	_____	_____	_____	_____	_____
Nathan Knapke	_____	_____	_____	_____	_____	_____	_____
Steve Serchuk	_____	_____	_____	_____	_____	_____	_____

VOTING RESULTS:

APPROVED _____ DISAPPROVED _____ DEFERRED _____ WITHDRAWN _____

CONDITIONS OF APPROVAL:

2049 Wildwood Blvd.
Toledo, OH 43614

8 May 2024

City of Toledo
Department of Economic and Business Development
Division of Building Inspection
One Government Center
Suite 1600
Toledo, OH 43604

Dear Members of the Zoning Board:

We, Elliot Adams & Patrick Kees, are requesting a variance to build an 8' x 12' tool shed for lawn and garden implements, to be applied to our property at 2049 Wildwood Blvd.

We are requesting this variance because our property is bound on the north side by Wildwood Boulevard and on the south side by Westmeyer Street, which means that technically our lot has two frontages. However, like all of our neighbors, we have always considered and used our lot's south side as a back yard, since our address is Wildwood Blvd. and the front of our houses face it.

We need to locate the shed at the southwest corner of our lot, in order to:

- position the shed as far as possible from our house,
- preserve backyard garden space, and
- maximize distance from the overhead service lines (power and cable) to the adjacent property.

Precedents of existing features which do not match current code on the Westmeyer side of our neighbors' properties include:

- Existing garages at six other properties with a Wildwood Blvd. address, ranging from 4' to 9.5' from the easement;
- Existing wooden fences 1' to 9.5' from the easement;
- Existing stone fences/walls 2" outside of the easement to 1.5' inside the easement;
- Existing fences on the side lot lines; and
- Existing garages as little as 1' from the side lot lines.

4-1

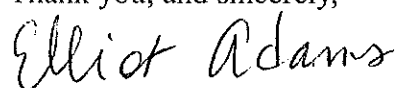
We will use a shed plan from *The Black & Decker Complete Guide to Contemporary Sheds*:

- The Simple Storage Shed, pp. 154-165,
- modified to include a gambrel roof, pp. 138-152,
- a sliding barn door on the east side of the shed, and
- no windows and no utilities.

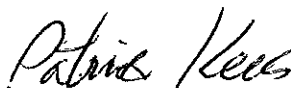
Finally, we want to restore our fence on the south boundary to its original location, which is now 6" inside the easement (Westmeyer St. was completely rebuilt—curbs and asphalt—in summer 2023). The fence was originally located between the trees and the curb, and the fence post at the southwest corner of our lot remains in its original position, as seen in the photographs.

We appreciate your consideration of this matter.

Thank you, and sincerely,



Elliot Adams



Patrick Kees

WILDWOOD BLVD

↑
All lots over
160' deep
to Wildwood
Blvd

TWO STORY

Electrical
service line

Driveway

GARAGE

4' 4"

4' 2"

100'

52' 1/2"

Wildwood

Proposed
Turf Field

Buttress 42" SSNT
under 1 Story Frame

TWO STORY

CP

EP

CAR
11' x 22' x 8' (approx)
to be removed

Driveway

TWO STORY

GARAGE

Driveway

7' 7"

50'

50'

Original house and garage footprint

Proposed 20' x 40' lot

WESTMEYER ST





2049 WILDWOOD



2049 WILDWOOD

