

TOLEDO - LUCAS COUNTY PLAN COMMISSIONS

One Government Center, Suite 1620, Toledo, OH 43604 P: 419 245-1200 F: 419 936-3730

DATE: October 14, 2022

REF: PUD-8005-22

TO: President Matt Cherry and Members of Council, City of Toledo

FROM: Toledo City Plan Commission, Thomas C. Gibbons, Secretary

SUBJECT: Request for an Amendment to Planned Unit Development, originally granted by Ord.550-12, Ord.87-17 and Ord.30-21, for 75 senior units w/ commercial units at 801 Division Street.

The Toledo City Plan Commission considered the above-referenced request at its meeting on Thursday, October 13, 2022 at 2:00 P.M.

GENERAL INFORMATION

Subject

Request	-	Amendment to Planned Unit Development, originally granted by Ord.550-12, Ord.87-17 and Ord.30-21, for 75 senior units w/ commercial units
Location	-	801 Division Street
Applicant	-	National Church Residences 2245 North Bank Drive Columbus, OH 43220
Owner	-	Lucas Metropolitan Housing Authority 435 Nebraska Avenue Toledo, OH 43604
Engineer	-	Lewandowski Engineers 234 N Erie Street Toledo, OH 43604
Architect	-	The Collaborative One Seagate, Park Level 118 Toledo, OH 43604
Architect	-	Berardi Partners 1398 Goodale Boulevard Columbus, OH 43212

GENERAL INFORMATION (cont'd)

Site Description

Zoning	-	CM-PUD & RM36/ Mixed Residential Commercial PUD, Multifamily Residential PUD
Area	-	±20.0 acres (amended portion is ±1.29 acres)
Frontage	-	±225' along Nebraska Avenue ±250' along Division Street ±275' along Rogan Way
Existing Use	-	Multifamily Residential
Proposed Use	-	Senior housing with commercial ground floor

Area Description

North	-	Collingwood Green apartments / RM36-PUD
South	-	Multi-family apartments / RM36
East	-	Interstate-75 / RM36-PUD
West	-	Gunkel Elementary School / RM36

Combined Parcel History

Z-51-85	-	Zone Change from C-3 to R-2 and R-5 to R-2. PC approved 04/25/85. Ord. 353-85 passed 05/14/85.
M-14-95	-	Community Development Plan for the ONYX Community Development District. PC approved 05/03/95. Ord. 375-96 passed 05/29/96.
S-16-02	-	Preliminary Drawing Review for Washington Village Plat Ten. PC approved 11/07/02.
S-31-04	-	Washington Village Plat X Preliminary Drawing Review. Withdrawn.
Z-1001-05	-	Zone Change from RS6 to CO. Withdrawn.
SPR-11-11	-	Major Site Plan Review of a 65 Unit Senior Housing Center. PC approved 09/06/11.
Z-9003-12	-	Zone Change from RS6 to RM36. PC rec approval 10/11/12. CC rec approval 11/14/12. Ord. 549-12 passed 11/20/12.

GENERAL INFORMATION (cont'd)

Combined Parcel History (cont'd)

- PUD-8007-12 - Planned Unit Development for a 207 dwelling unit housing complex located at 392 Nebraska Avenue. PC rec approval on 10/11/12. CC rec approval on 11/14/12. Ord. 550-12 passed 11/20/12.
- V-441-13 - Vacation of all right of ways bounded by Nebraska Avenue, Division Street, Belmont Avenue, and Interstate 75. PC rec approval 10/10/13. CC rec approval 11/13/13. Ord. 552-13 passed 12/10/13.
- V-29-13 - Vacation of Weiler Avenue from Nebraska Avenue to Belmont Avenue. PC rec approval on 02/14/13. CC rec approval 11/13/13. Ord. 552-13 passed 12/10/13.
- S-24-13 - Final Plat of Collingwood Green located at the intersection of Collingwood Boulevard and Nebraska Avenue. PC approved 10/23/13.
- PUD-11004-16 - Amendment to a Planned Unit Development, originally granted via Ord 550-12 for new multi-family housing at 392 Nebraska Avenue. PC rec approval 01/12/17. CC rec approval 02/15/17. Ord. 87-17 passed 02/21/17.
- V-166-17 - Vacation of portion of Belmont Ave, a portion of Bresnahan Green and a portion of Rogan Way. PC rec approval 06/08/17. CC rec approval 07/12/17. Ord. 77-18 passed 02/27/18.
- S-6-20 - Final Plat of Bresnahan Green and part of Belmont Avenue in Collingwood Green. PC approved 01/14/21.
- V-444-20 - Vacation of a portion of Clemente Trace in Collingwood Green. PC approved 12/03/20. CC rec approval 01/06/21.

GENERAL INFORMATION (cont'd)

Combined Parcel History (cont'd)

PUD-1007-20 - Amendment to Planned Unit Development, Originally Approved by Ord.87-17, for Multi-Family Development at 801 Division Street. PC rec approval 12/03/20. CC rec approval 01/06/21. Ord. 30-21 passed 01/19/21.

Applicable Plans and Regulations

- Toledo Municipal Code (TMC), Part Eleven: Planning and Zoning Code
- Toledo 20/20 Comprehensive Plan

STAFF ANALYSIS

The applicant is requesting an amendment to a Planned Unit Development, originally granted by Ord.550-12, Ord.87-17 and Ord.30-21, for 75 senior units w/ commercial units at 801 Division Street. This amendment will affect the southwestern portion of the PUD, with proposed site plan changes occurring in block 6. This portion of the site is zoned CM Mixed Residential Commercial with a PUD overlay. Surrounding land uses include multifamily housing to the north; multifamily housing to the south; I-75 to the east, and a school to the west.

In 2012, the Plan Commission approved a PUD for Phase 1 of the Collingwood Green multi-family housing complex via Ord. 550-12. The proposal was for the development of 176 residential units dispersed throughout twenty-five (25) buildings, a mixed-use building with thirty-one (31) residential units above commercial space, and a separate community building. A total of 207 units were proposed as part of the initial PUD.

In 2017, an amended PUD facilitating Phases 2 and 3 of the development was approved via Ord. 87-17. The amendment provided revisions to fifteen (15) of the proposed buildings and modification to the parking lot configurations.

In 2021, an amendment was approved to facilitate Phase IV of Collingwood Green and included a reduction in the number of dwellings by twenty-five (25) units, a reduction in the total number of parking spaces by 125, an increased open space on the eastern side of the site, and the relocation of a roadway, Clemente Trace.

The proposed amendment will facilitate Phase V of the Collingwood Green development with site plan changes to Block 6b. The proposed changes include a Senior Housing complex with 75-dwelling units and a 7,139 square foot commercial space on the ground floor.

STAFF ANALYSIS (cont'd)

The PUD provides an overlay Zoning District that is intended to encourage innovative design, conservation of significant natural features or consolidation of open space in order to provide for a mixture of uses with an integrated design. PUD regulations are intended to promote consistency with the Comprehensive Plan and any adopted Neighborhood Plans. The PUD development may be a residential, commercial, or industrial development or may be a combination of uses with no minimum site area required. All planned unit developments shall be platted in accordance with applicable subdivision rules and regulations.

Parking and Circulation

Pursuant to TMC§1107.0700, *Elderly and Disable Housing Parking Reduction*, the minimum parking for senior housing units is one (1) space for every two (2) units plus an area on the site reserved for future parking to accommodate one (1) parking space per dwelling unit. Calculations conclude that a 75 unit housing complex requires thirty-eight (38) parking spaces.

Additionally, per TMC§1107.0400, the proposed 7,139 square foot commercial space on the ground floor requires one (1) parking space per 300 square feet of floor area for an additional twenty-four (24) parking spaces needed on-site. A total of sixty-two (62) parking spaces are required for this portion of the PUD. The proposed site plan depicts a total of sixty-three (63) parking spaces with on-street parking and public transit stops located around the site.

A portion of the required off-street parking spaces must be specifically designated, located, and reserved for use by persons with physical disabilities. According to TMC§1107.1701, at least two (2) auto and one (1) van accessible space for a total of three (3) parking spaces shall be provided for persons with physical disabilities. The site plan submitted depicts four (4) accessible parking spaces and complies with these parking requirements.

Parking and Circulation

Finally, bicycle parking is also required on site with one (1) parking slot for every ten (10) parking spaces. With sixty-three (63) parking spaces proposed, a total of six (6) bicycle parking spaces shall be provided. The site plan submitted depicts two (2) sets of bicycle racks with eight (8) slots provided and satisfies the minimum requirements.

STAFF ANALYSIS (cont'd)

Density

The maximum density refers to the number of dwelling units allowed per acre of the site area, after subtracting existing rights-of-way from the gross site area. The maximum number of dwelling units permitted in the PUD is calculated by dividing the net residential acreage by the minimum lot area per dwelling unit as shown in TMC§1106.0100-Intensity and Dimensional Standards. For purposes of this calculation, net residential acreage equals either percent (80%) of the gross parcel acreage. Eighty percent (80%) of the development site is equal to sixteen (16) acres. The maximum number of dwelling units allowed in the RM36 Zoning District with a PUD is twenty-nine (29) units per gross acre. While the maximum number of dwelling units allowed in the CM Zoning District with a PUD is forty-nine (49) units per gross acre. Calculations conclude the overall site comprised of 20.0 acres is permitted to accommodate a total of 464 units.

The proposed amendment adding 75 senior units to the existing 163 units for a total of 238 units is well below the allowed amount and in compliance with the density standards. Additionally, no more than forty percent (40%) of gross site acreage shall be devoted to coverage by buildings, structures, street pavement, driveway and parking area pavement (*TMC§1106.0302(B)*). The site plan submitted is in compliance with the intensity and dimensional standards.

Building Design

Pursuant to TMC§1109.0205(A), the design of a building shall reduce its apparent mass by dividing the building into smaller masses. The building elevations submitted depict multiple architectural features including balconies, variations of roof lines and parapet heights, and multiple building materials, textures and colors which satisfy the design standards of TMC§1109.0205(A).

As stated in TMC§1109.0205(C)(1), exterior walls shall be articulated in order to add interest and variety and avoid the effect of a single, long or massive wall with no relation to human size. Articulation shall be visually established by using architectural features such as columns, ribs or pilasters, piers, and fenestration pattern. All sides of the buildings shall include compatible materials and design characteristics consistent with those on the primary façade. The building elevations submitted depicted multiple architectural features on each façade visible from the right-of-way and satisfy the minimum articulation requirements stated in TMC§1109.0205(C)(1).

STAFF ANALYSIS (cont'd)

Building Design (cont'd)

Based on the overall layout of the site, all four (4) sides of the buildings shall be subject to the façade material standards as listed in TMC§1109.0500. For façades visible from the public right-of-way, predominant exterior materials must comprise at least eighty percent (80%) of the total wall area of the façade. Predominant building materials include brick, stone, glass, and materials with a brick-like appearance or similar material. Accent building materials may include concrete blocks, vinyl siding, smooth-faced concrete panels or wood sheet goods as a secondary material. Accent materials may not comprise more than 20% of facades visible from the public right-of-way. The façade colors shall be low-reflectance, subtle, neutral or earth tone colors. Building trim and accent areas may feature brighter colors, including primary colors subject to the approval of the Planning Director.

The proposed elevations submitted included the quantity or percentage of the façade materials for the entire building but did not include a breakdown for each side. The materials proposed on the elevations consist of brick veneer (42%), vinyl horizontal siding (35%), stone veneer (15%), fiber cement panel (8%) and glass windows. The elevations indicate brick veneer for a majority of the façades with the exception of the north and east facing elevations where vinyl horizontal siding is predominant and not in compliance with the design standards. As a condition of approval, the applicant shall submit revised building elevations with a breakdown of façade materials for each side of the building that meet the requirements of TMC§1109.0500. Staff recommends the vinyl horizontal siding be reduced and replaced with a higher quality material like brick or stone veneer.

Open Space Requirements

Open spaces are a great benefit to the residents, employees, and visitors of multifamily developments. According to TMC§1103.1007(D) Planned Unit Development – Residential Standards, no less than fifteen percent (15%) of the gross site acreage shall be allocated to usable, accessible, and consolidated common open space. The site plan allocates a total of 4.82 acres of open space for the development. A total of 3.59 acres of the overall 20.0 acre site is dedicated towards the consolidated common open space requirement and equates to eighteen percent (18%) of the site.

All PUDs require an open area void of buildings, structures, parking areas or other above ground improvements, except fencing, to be maintained along all perimeter property lines. The landowner must establish an agency for the ownership and maintenance of common open spaces where such are to be retained in private ownership. In the event the agency established to own and maintain the common open space or any successor agency as a condition of approval, the City may serve written notice upon such agency or upon the residents and owners of the PUD.

STAFF ANALYSIS (cont'd)

Landscaping

The CM Mixed Commercial Residential zoning district requires developments to adhere to the Urban Commercial Landscape Standards. The intent of these standards are to recognize that compliance with the landscape standards of TMC§1108.0200 may be difficult or impossible for urban, pedestrian-oriented developments and therefore provide more flexible landscape standards for infill developments.

As stated in the Urban Commercial Landscape Standards of TMC§1108.0300, any part of a lot area not used for buildings, other structures, or for roads, walks, parking, service areas or access ways must be landscaped with a combination of groundcover, trees and shrubs. Grasses may be used in conjunction with other plant material. Landscape improvements must be provided in the sidewalk or other paved area in front of a building with tree grates, or other walkable surface material treatment for open tree pits, in the form of one (1) shrub or understory tree for every thirty-feet (30') of lot frontage.

The landscaping plan submitted provided five (5) trees along Division Street, zero (0) trees along Nebraska Avenue and three (3) trees along Rogan Way. The proposed landscaping along the street frontages does not meet the Urban Commercial Landscaping Standards of TMC§1108.0300. Foundation plantings are required for the full street-facing building elevations and landscape areas at major building entrances. Staff recommends an additional two (2) trees be installed along Division Street, seven (7) trees be installed along Nebraska Avenue and six (6) trees installed along Rogan Way. As a condition of approval, a revised landscaping plan shall be submitted with the required number of trees and foundation plantings along each street frontage.

Additionally, perimeter landscaping must be installed along any parking lot area adjacent to a street, place, or driveway. Perimeter landscaping shall include a landscaped area at least five-feet (5') wide, exclusive of easements, sidewalks, or rights-of-way, planted with at least one (1) shrub for every three (3) to five-feet (5') of property line, as determined by growth characteristics. Wheel stops (i.e., parking blocks) must be provided to ensure that vehicles cannot overhang directly on plant material.

The landscaping plan depicts a solid row of shrubs along the parking lot facing Rogan Way. Additional landscaping is depicted within the interior of the development at building entrances and the parking lot landscape islands in efforts to reduce the impervious surfaces on site. The proposed landscaping for the perimeter and interior parking lot satisfy the requirements of the Urban Commercial Landscaping Standards.

STAFF ANALYSIS (cont'd)

Toledo 20/20 Comprehensive Plan

The Toledo 20/20 Comprehensive Plan targets the site for Multi-Family Residential land uses. This land use is primarily intended to accommodate the development of multi-dwelling housing and also intended to create, maintain and promote higher density housing opportunities in areas with good transportation access. Staff recommends approval of the applicant's request because the proposal is an appropriate use and conforms to the 20/20 Plan.

Staff has reviewed the proposed PUD in accordance with the criteria of TMC§1103.1000. Based on the results of the review, staff has determined that the proposed PUD is suitable for this location because the use complies with all applicable provisions of the Toledo Municipal Code, the request meets the stated purpose of the Zoning Code, and the proposed development is consistent with the Toledo 20/20 Comprehensive Plan.

PLAN COMMISSION RECOMMENDATION

The Toledo City Plan Commission recommends approval of PUD-8005-22, an amendment to a Planned Unit Development, originally granted by Ord.550-12, Ord.87-17 and Ord.30-21, for 75 senior units w/ commercial units at 801 Division Street for the following three (3) reasons:

1. The request conforms to the Toledo 20/20 Comprehensive Plan and the stated purpose of the Zoning Code (TMC§1111.0606(A) – *Review and Decision Making Criteria*).
2. The request is compatible with existing land uses within the general vicinity of the subject property (TMC§1111.0606(B) – *Review and Decision Making Criteria*); and
3. The physical suitability of the subject property for the uses permitted under the proposed CM Mixed Commercial Residential zoning classifications (TMC§1111.0606(D) – *Review & Decision-Making Criteria*).

The Toledo City Plan Commission further recommends approval of PUD-8005-22, a request for an amendment to a Planned Unit Development, originally granted by Ord.550-12, Ord.87-17 and Ord.30-21, for 75 senior units w/ commercial units at 801 Division Street, subject to the following **forty-nine (49)** conditions:

The following conditions are listed by agency of origin. Applicants are encouraged to contact each of the agencies to address compliance with their conditions.

PLAN COMMISSION RECOMMENDATION (cont'd)

Engineering Services

1. A pre-submittal meeting is not required; however, one may be requested. Contact information is as follows:

Division of Engineering Services: 419-245-1315

Right-of-Way and Inspection: 419-245-1341

Roadway: 419-245-1344

Water: 419-936-2163

Stormwater Drainage: 419-245-3221 or 419-245-1338

Sanitary Sewers: 419-936-2276

2. Minimum 4' barrier free sidewalk shall be placed along the frontages of all public streets in the development, and shall extend through drive approaches. Pedestrian curb ramps shall be placed at all intersections.
3. All proposed drive approaches, sidewalk, and curb shall be constructed in accordance with the City of Toledo Construction Standards, Specifications, and Toledo Municipal Code. All drive approaches, and sidewalk through the drives, shall be 6" thick concrete residential, 8" thick concrete Commercial. No curb shall be permitted in the right-of-way along either side of the drive approach. **No horizontal curb cutting will be permitted.**
4. Improvements per City of Toledo Infrastructure Design and Construction requirements
5. Required permits for all approved work in the public right-of-way shall be obtained, before work begins, from One Stop Shop, (419)-245-1220. Contact Joe Warnka at (419) 245-1341 for inspection of above mentioned items.
6. Water service is available subject to the Rules and Regulations of the Department of Public Utilities.
7. Detailed plans for the water service lines shall be submitted to the Division of Water Distribution for review and approval.
8. A meeting is needed to reconcile a stormwater engineering concern of nonconformance with the January 2014 Stormwater Plan for the whole site, which originally called for an additional flood control pond in the southeast corner of open space, and other management practices. If the matter is not resolved prior to PUD approval, any landscape changes determined to be required would require coordination with Plan Commission's administrative review of minor site changes.

PLAN COMMISSION RECOMMENDATION (cont'd)

Engineering Services (cont'd)

9. Full stormwater submittal requires multiple items:
 - a. Items are listed on the regional SWP3 submittal coversheet: <https://tmacog.org/water/stormwater/stormwater-pollution-prevention-plan-swp3>
 - b. Plans according to the 2014 Infrastructure Requirements document found in the drop down menu on this page: <https://toledo.oh.gov/business/how-to-build-in-the-city/building-inspection-permits>
 - c. The underground system design and accompanying long term maintenance plan shall meet the expectations of the 2018 Ohio Construction permit and latest revised chapter of the Ohio Rainwater Manual, including necessary access and inspection ports and structures.
10. O&M plans for all on-site stormwater management features are required to be submitted ahead of building approvals or according to a schedule satisfactory to the City of Toledo post-construction program.
11. Following the stormwater review, additional items are needed for final approval:
 - a. As listed on the regional SWP3 submittal cover sheet. The O&M agreement may be through a covenant, or alternatively it may be incorporated into the LMHA catalogue of stormwater facilities and scheduled maintenance activities.
 - b. Fee and a Toledo Licensed Sewer Contractor for the sewer construction permit.
 - c. Construction inspection and completion of obligations in the stormwater permit.
12. The underground detention system (UDS) is proprietary and outside the scope of the City's services for sewer inspection. The following notes shall be added to the plans:
 - a. The Contractor shall have the underground detention system manufacturer's representative on-site during the installation of the UDS. This representative shall advise the contractor as to the required installation procedures for the UDS.
 - b. The City of Toledo will be provided with an as-built signature by an Ohio P.E. representing the detention system manufacturer with the certification statement to the effect of: 'I certify that the underground detention system was installed in accordance with the manufacturer's installation requirements and that the underground detention system will function as designed in accordance with the contract documents.'
13. Sanitary sewer service for this development is available subject to the Rules and Regulations of the Department of Public Utilities.
14. A single sanitary sewer tap from this site shall be allowed into the public sanitary sewer system. Developer shall use existing sanitary tap, when available.

PLAN COMMISSION RECOMMENDATION (cont'd)

Water Distribution

15. Water service is available subject to the Rules and Regulations of the Department of Public Utilities.
16. Detailed plans for the proposed water main shall be submitted to the Division of Water Distribution for review and approval.
17. The water meter setting detail, including meter bypass (if applicable) and backflow preventer, shall be submitted to the City of Toledo Backflow Prevention Coordinator, 401 S Erie Street, Toledo, OH 43604 for review and approval. Approval of site utility plan is contingent on approval of meter setting and backflow preventer.
18. All commercial properties are required to have approved backflow protection devices installed on the domestic water service and fire protection lines. Installation of the devices must be verified by the Division of Water Distribution and all devices must be registered with BSIOnlinetracking.com @ (800) 414-4990. Contact the Division of Water Distribution (419-392-2032) to verify the backflow prevention requirements for the site.
19. Existing water service lines to structures removed from the site will be abandoned by the City of Toledo at the developer's expense.
20. Detailed water plans shall also be submitted to Fire Prevention (Lynn Thompson, lynn.thompson@toledo.og.gov, (419) 245-1263) for review and approval.

Sewer and Drainage Services

21. S&DS requires that all private sewer lines that are not being removed or properly abandoned (both storm & sanitary) be cleaned and inspected.
22. S&DS requires that the private sanitary lines (after they have been cleaned) that are not being removed or properly abandoned be televised from the building (or private cleanout) to where they connect with the public sewer system if this has not been done in the past (2) two years. An electronic copy (DVD/memory stick) shall be provided to S&DS demonstrating the lines cleaning and integrity.

PLAN COMMISSION RECOMMENDATION (cont'd)

Division of Environmental Services

23. Applicant shall maintain compliance with the City of Toledo's Storm Water regulations as specified in the Toledo Municipal Code. Special attention must be paid to all potential storm water impacts from the modification of the site, including but not limited to long-term operation and maintenance of existing structural and non-structural Best Management Practices.
 - a. Notification shall be made to the Division of Environmental Services (419-936-3015) no later than three days prior to commencement of construction activities.
 - b. Construction BMPs shall be in place prior to the start of construction activities.
 - c. SWP3 inspection reports shall be kept on site with the SWP3 and readily accessible during normal working hours.
24. Applicant shall maintain compliance with Ohio EPA's General Storm Water NPDES permit programs.
25. Applicant is strongly encouraged to include multiple green infra-structure measures to minimize runoff and increase infiltration, and to minimize the amount of new and/or additional impervious surface on the site.
26. Applicant is strongly encouraged to plant native, low maintenance and non-invasive trees, shrubs and perennials.
http://ohiodnr.gov/portals/0/pdfs/invasives/Alternatives_to_Ohio_Invasive_Plant_Species.pdf
27. Applicant shall maintain compliance with the City of Toledo and the State of Ohio's Air Quality Regulations applicable in the Toledo Municipal Code and the Ohio Administrative Code including, but not limited to the Asbestos and the Anti-Noise Laws.

Division of Transportation

No objections.

Fire Prevention

No comments or concerns.

PLAN COMMISSION RECOMMENDATION (cont'd)

Plan Commission

28. The building design shall meet the requirements of TMC§1109.0500 – *Building Façade Materials and Color*. Predominate exterior building materials shall be high-quality materials and must comprise at least eighty percent (80%) of the total wall area of the façade. Predominant building materials include brick, stone, glass, and materials with a brick-like appearance or similar material. Accent building materials may include concrete blocks, vinyl siding, smooth-faced concrete panels or wood sheet goods as a secondary material. Accent materials may not comprise more than 20% of facades visible from the public right-of-way. **Not acceptable as depicted on elevations submitted. Revised building elevations shall be submitted depicting 80% of each façade comprised of exterior building materials in compliance with 1109.0500.**
29. Parking shall adhere to the requirements of TMC§1107.0700, *Elderly and Disable Housing Parking Reduction*, the minimum parking for senior housing units is one (1) space for every two (2) units plus an area on the site reserved for future parking to accommodate one (1) parking space per dwelling unit. Calculations conclude that a 75 unit housing complex requires thirty-eight (38) parking spaces. **Acceptable as depicted on site plan submitted.**
30. Pursuant TMC§1107.0400, the commercial space on the ground floor requires one (1) parking space per 300 square feet of floor area for an additional twenty-four (24) parking spaces required on site. A total of sixty-two (62) parking spaces are required for this portion of the PUD. **Acceptable as depicted on site plan submitted.**
31. All spaces reserved for the use by persons with physical disabilities shall adhere to the standards outlined in TMC§1107.1700. A minimum of two (2) auto and one (1) van accessible parking spaces are required for use by persons with physical disabilities. **Acceptable with four (4) accessible spaces depicted on site plan.**
32. Bicycle parking slots shall be provided pursuant to Off-Street Parking Schedule “A” (TMC§1107.0300), which requires one (1) bicycle parking slot per ten (10) parking spaces. Six (6) bicycle parking spaces shall be provided on site. **Acceptable as depicted on the site plan.**
33. Off-street parking and loading spaces, parking lots, maneuvering aisles and driveways must be surfaced with concrete, bituminous asphalt, or other dust-free material other than gravel or loose fill, and be graded to drain all surface water toward the interior of the parking lot or to a stormwater treatment facility subject to the regulations approval of the Department of Public Utilities (TMC§1107.1906).

PLAN COMMISSION RECOMMENDATION (cont'd)

Plan Commission (cont'd)

34. Whenever a parking lot extends to a property line, sidewalk, planting strip, or building, a wheel stop device consisting of a concrete stop, a permanent concrete curb, an expanded sidewalk or other suitable restraint as approved by the Planning Director must be installed to prevent any part of a parked motor vehicle from extending beyond the property line, overhanging a pedestrian walkway, or sidewalk, or damaging any structure or landscaping (TMC§1107.1907(A)).
35. No more than forty percent (40%) of gross site acreage shall be devoted to coverage by buildings, structures, street pavement, driveway and parking area pavement. **Acceptable as depicted.**
36. No less than fifteen percent (15%) of the gross site acreage shall be allocated to usable, accessible, and consolidated common open space per TMC§1103.1007(D). **Acceptable as depicted.**
37. The Planned Unit Development shall be platted according to the Subdivision Rules and Regulation of the City of Toledo.
38. The landowner must establish an agency for the ownership and maintenance of common open spaces where such are to be retained in private ownership.
39. Telephone, electrical, cable, and other utility appurtenances shall be buried and dumpsters shall be sufficiently screened (TMC§1103.1007(H)).
40. In the event the agency established to own and maintain the common open space or any successor agency shall at any time after establishment of the Planned Unit Development fail to fulfill any obligation of such agency as a condition of approval, the City may serve written notice upon such agency or upon the residents and owners of the Planned Unit Development, setting forth the manner in which the agency has failed to fulfill its obligation. The notice shall include a demand that such deficiencies be cured within the time specified within the notice. If such deficiencies are not cured within the specified time, the City, in order to preserve the taxable values of the properties within the Planned Unit Development and to prevent the common open space from becoming a public nuisance, may enter upon the common open space and maintain the same and perform the other duties of the agency until such agency shall gain resume its obligations. All costs incurred by the City in carrying out the obligations of the agency shall be assessed against the properties within the Planned Unit Development and shall become a tax lien on the properties.

PLAN COMMISSION RECOMMENDATION (cont'd)

Plan Commission (cont'd)

41. Per TMC§1109.0204(A), at least one main entrance of any commercial, mixed-use, or institutional building shall face and open directly onto a five-foot (5') wide connecting walkway to the street sidewalk without requiring pedestrians to walk around buildings or around parking lot outlines which are not aligned to a logical route; **acceptable as depicted on site plan.**
42. Pursuant to TMC1109.0205(A), the design of a building shall reduce its apparent mass or bulk by dividing the building into smaller masses. The internal function of the building may indicate a logical hierarchy for breaking the mass of the building. **Acceptable as depicted on building elevations.**
43. Pursuant to TMC1109.0205(C)(1), exterior walls shall be articulated in order to add architectural interest and variety and avoid the effect of a single, long or massive wall with no relation to human size. Articulation shall be visually established by using architectural features such as columns, ribs or pilasters, piers, and fenestration pattern. **Acceptable as depicted on building elevations.**
44. The façade colors shall be low-reflectance, subtle, neutral or earth tone colors (i.e. gray, brown, tan). Building trim and accent areas may feature brighter colors, including primary colors subject to the approval of the Planning Director.
45. Dumpster location(s) shall be clearly defined, have a concrete pad and be surrounded by a solid wooden fence or a masonry screen enclosure with landscaping and shall not be located in any required setbacks or the public right-of-way as stated in TMC§1361.10(b)(10) of the Building Code; **acceptable as depicted on the site and landscaping plan.**
46. New free-standing signs are limited to a height of forty-two inches (42") from grade and a width of twelve feet (12').
47. A detailed site, lighting, fencing and four (4) copies of a landscaping plan (separate from building & site plans) shall be submitted to the Plan Director for review and approval. Such plan shall include:
 - a. Landscape improvements must be provided in the sidewalk or other paved area in front of a building with tree grates, or other walkable surface material treatment for open tree pits, in the form of one (1) shrub or understory tree for every thirty-feet (30') of lot frontage. **Not acceptable as depicted on landscaping plan. A revised landscaping plan shall be submitted depicting seven (7) trees along Division Street, seven (7) trees along Nebraska Avenue and nine (9) trees are required along Rogan Way, subject to approval by the Plan Director.**

PLAN COMMISSION RECOMMENDATION (cont'd)

Plan Commission (cont'd)

- b. Perimeter landscaping must be installed along any parking lot area adjacent to a street, place, or driveway in accordance with the Urban Commercial Landscape Standards in TMC§1108.0300. **Acceptable as depicted on the landscaping plan.**
 - c. Foundation plantings are required for the full street-facing building elevation; and landscape areas at major building entrances; **not acceptable as depicted on the landscaping plan. Foundation plantings shall be provided for the south building elevation along Nebraska Avenue. A revised landscaping plan shall be submitted depicting additional foundation plantings, subject to approval by the Plan Director.**
 - d. Wheel stops (i.e., parking blocks) must be provided to ensure that vehicles cannot overhang directly on plant material.
 - e. Topsoil must be back filled to provide positive drainage of the landscape area.
 - f. Landscaped areas may not contain bare soil, aggregated stone or decorative rock. Any ground area must be covered with hardwood mulch, grass or other vegetative ground coverage.
 - g. The location, number, height, diameter and species of any materials to be planted and maintained, as well as the location and number of any existing trees to be retained, trees, shrubs, and landscape materials shall meet the standards included in TMC§1108.0400 Landscape Materials Standards.
 - h. Landscaped areas must be irrigated as necessary to maintain required plant materials in good and healthy condition. Irrigation plans must be submitted with development plans and must contain all construction details.
 - i. The location, height and materials for any fencing to be installed and maintained.
 - j. The location and direction of any proposed lighting (lights are to be directed away from adjacent residential properties); and
 - k. Landscaping shall be installed and maintained indefinitely.
48. Minor adjustments to the Site Plan that do not violate the above conditions, or the Toledo Municipal Code, may be reviewed and approved by the Director of the Toledo City Plan Commission.

TO: President Cherry and Members of Council
October 14, 2022
Page 18

REF: PUD-8005-22

PLAN COMMISSION RECOMMENDATION (cont'd)

Plan Commission (cont'd)

49. No permits shall be issued until arrangements satisfactory to the Director of the City of Toledo Plan Commission have been made for compliance with the conditions as set forth above.

Respectfully Submitted,



Thomas C. Gibbons
Secretary

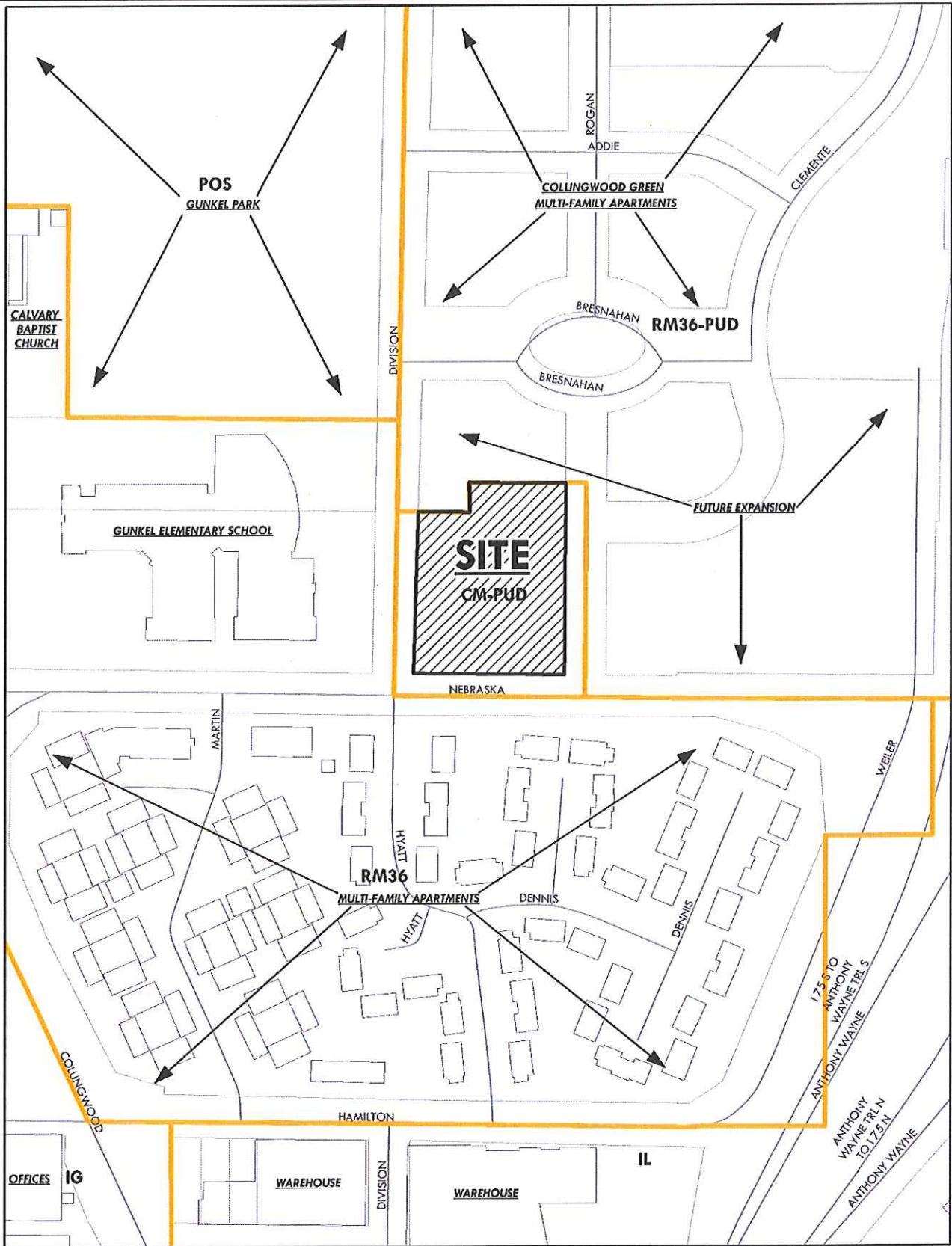
RS

Seven (7) sketches follow

Cc: Jon Holway, National Church Residences, 2245 North Bank Drive, Columbus, OH 43220
Matt Sutter, Lucas Metropolitan Housing Authority, 435 Nebraska Ave, Toledo, OH 43604
Troy Barman, Lewandowski Engineers, 234 N. Erie Street, Toledo, OH 43604

ZONING & LAND USE

PUD-8005-22
ID 10

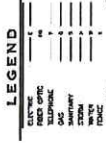
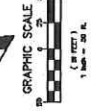
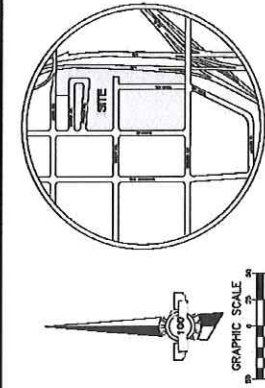


SITE PLAN - NORTH

PUD-8005-22
ID 10



PLANNED UNIT DEVELOPMENT AMENDMENT OF:
COLLINGWOOD GREEN
IN THE
CITY OF TOLEDO, LUCAS COUNTY, OHIO



AREA
TOTAL AREA: 141,000 SQ. FT.
NET AREA: 138,000 SQ. FT.
SITE AREA: 138,000 SQ. FT.

PHASES
PHASE 1: 100,000 SQ. FT.
PHASE 2: 20,000 SQ. FT.
PHASE 3: 18,000 SQ. FT.

UNITS
TOTAL: 1,000
PHASE 1: 700
PHASE 2: 150
PHASE 3: 150

AMENDMENT
THIS AMENDMENT IS FOR THE
REVISION OF THE PLANNED UNIT
DEVELOPMENT AMENDMENT FOR
COLLINGWOOD GREEN, PUD-8005-22
ID 10, TO ADD 100 UNITS TO
THE TOTAL UNIT COUNT.

PLAN PREPARED BY:
LEWANDOWSKI ENGINEERS
CIVIL ENGINEERS & SURVEYORS
1000 N. WASHINGTON ST., SUITE 100
TOLEDO, OHIO 43604
TEL: 419-241-8111
WWW.LEWANDOWSKI.COM

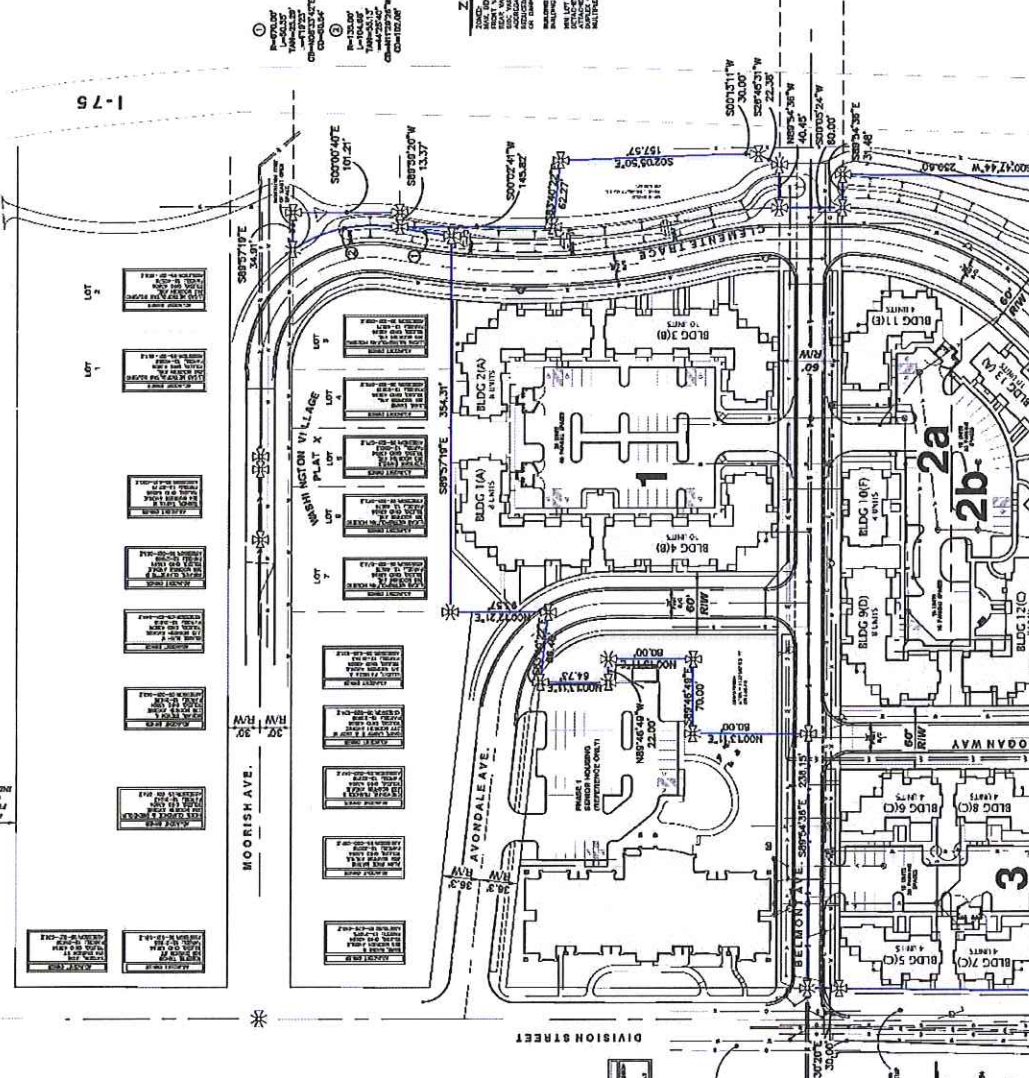
TROY M. BARMAN, P.E.
STATE OF OHIO
DATE: _____

LEWANDOWSKI ENGINEERS

CIVIL ENGINEERS & SURVEYORS
1000 N. WASHINGTON ST., SUITE 100
TOLEDO, OHIO 43604
TEL: 419-241-8111
WWW.LEWANDOWSKI.COM

**PLANNED UNIT DEVELOPMENT AMENDMENT OF:
COLLINGWOOD GREEN**
CITY OF TOLEDO, LUCAS COUNTY, OHIO

DATE: 11/27/2022
SCALE: 1" = 50'
DRAWN BY: J. GIBSON / J. GIBSON
CHECKED BY: J. GIBSON / J. GIBSON
APPROVED BY: T. BARMAN
UNITS: 1,100



PARKING

MINIMUM PARKING = 1.5 SPACES PER UNIT = 1650 SPACES
MINIMUM PARKING = 1.0 SPACES PER UNIT = 1100 SPACES
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Collingwood Green
LUCAS METROPOLITAN HOUSING
LHSC
LUCAS HOUSING SERVICES CORPORATION
an affiliate of LHMC
National Church Residences
BERARDI+
THE COLLABORATIVE INC.

WARNING: THIS PLAN IS A PRELIMINARY PLAN. IT IS SUBJECT TO THE REVIEW AND APPROVAL OF THE CITY OF TOLEDO AND LUCAS COUNTY. THE CITY OF TOLEDO AND LUCAS COUNTY ARE NOT RESPONSIBLE FOR ANY ERRORS OR OMISSIONS IN THIS PLAN.

WORK WITH PRIDE
1816

COLLINGWOOD GREEN, THE CITY OF TOLEDO, LUCAS COUNTY, OHIO

BUILDING ELEVATIONS – NORTH & SOUTH

PUD-8005-22
ID 10

general notes: siding

1. SIDING TO BE 8" X 16" SMOOTH FINISH. SIDING SHALL BE 1/4" THICK. SIDING SHALL BE INSTALLED WITH A 1/4" GAP BETWEEN SIDING BOARDS. SIDING SHALL BE INSTALLED WITH A 1/4" GAP BETWEEN SIDING BOARDS. SIDING SHALL BE INSTALLED WITH A 1/4" GAP BETWEEN SIDING BOARDS.
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general notes: elevation

1. ELEVATION SHALL BE INSTALLED WITH A 1/4" GAP BETWEEN SIDING BOARDS. SIDING SHALL BE INSTALLED WITH A 1/4" GAP BETWEEN SIDING BOARDS. SIDING SHALL BE INSTALLED WITH A 1/4" GAP BETWEEN SIDING BOARDS.
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general notes: building envelope

1. BUILDING ENVELOPE SHALL BE INSTALLED WITH A 1/4" GAP BETWEEN SIDING BOARDS. SIDING SHALL BE INSTALLED WITH A 1/4" GAP BETWEEN SIDING BOARDS. SIDING SHALL BE INSTALLED WITH A 1/4" GAP BETWEEN SIDING BOARDS.
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durability notes:

1. DURABILITY NOTES SHALL BE INSTALLED WITH A 1/4" GAP BETWEEN SIDING BOARDS. SIDING SHALL BE INSTALLED WITH A 1/4" GAP BETWEEN SIDING BOARDS. SIDING SHALL BE INSTALLED WITH A 1/4" GAP BETWEEN SIDING BOARDS.
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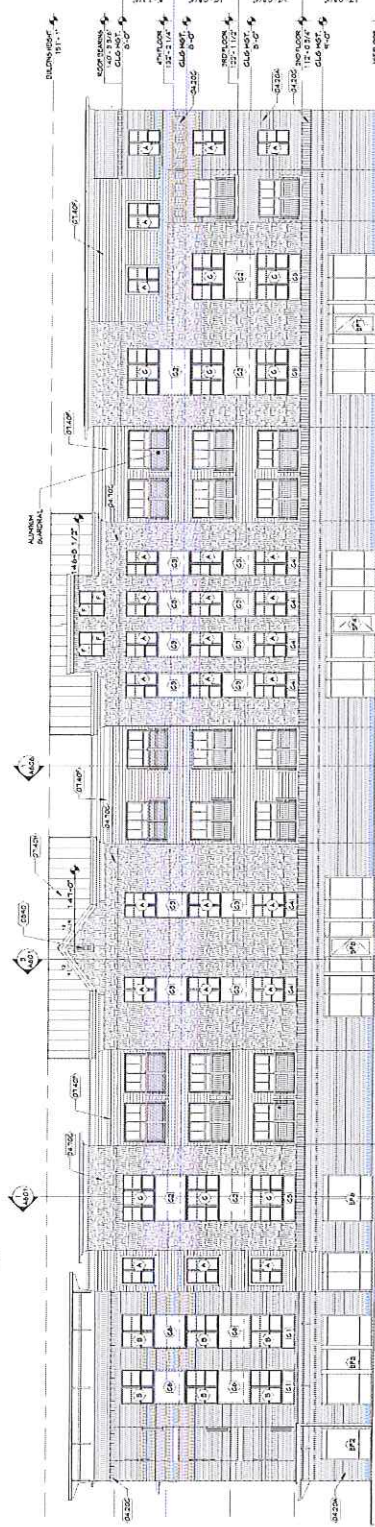
MATERIAL LEGEND

KEYNOTES	DESCRIPTION
64-204	BRICK VENEER, UNGLAZED
24-302	MANUFACTURED STONE, CRACK
21-404	CONCRETE, POLISHED
21-404	METAL ROOF PANELS
21-404	GLASS AND GLAZING

Natural Crutch Interiors
Collingwood
Green - Ph V
TOLLEDO, OH
800 NEBRASKA AVENUE
REARERS - VAS DESIGN, INC.
ALL RIGHTS RESERVED



NORTH ELEVATION
1/8" = 1'-0"



SOUTH ELEVATION
1/8" = 1'-0"

95% DOCUMENTS

DATE: 04/27/2022
PROJECT #: 21120
DATE: 04/27/2022
1. Addendum 1
2. Addendum 2
3. Addendum 3

LIASC
CORPORATIONS
EXTERIOR
ELEVATIONS

A202

BERARDI
LUCAS HOUSING

3/26/2022 11:10:32 AM

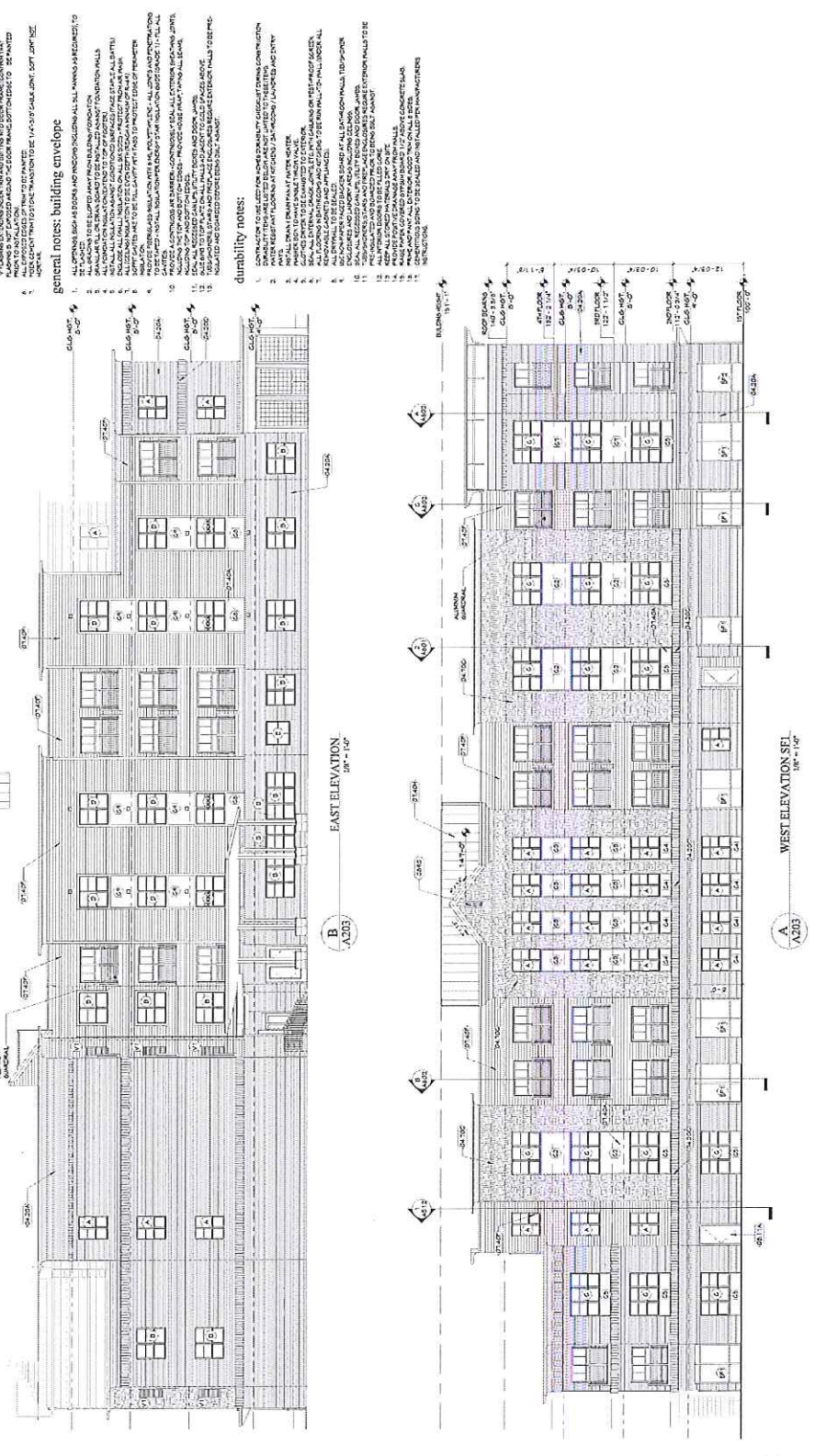
BUILDING ELEVATIONS – EAST & WEST

PUD-8005-22
ID 10

- EXTERIOR FINISH MATERIAL SELECTION**
- | MATERIAL | SIZE / MANUFACTURER |
|--------------------|---|
| DWEESE METAL CORNS | 24x24x1/4" STAINLESS STEEL |
| ADDITIONAL | 24x24x1/4" ALUMINUM ANODIZED |
| CONCRETE | 24x24x1/4" POLISHED CONCRETE (VARIANTS) |
| SPRINKLER HEADS | 1/2" NPT STAINLESS STEEL |
| SPRINKLER HEADS | 1/2" NPT BRASS |
| SPRINKLER HEADS | 1/2" NPT BRASS (VARIANTS) |
| SPRINKLER HEADS | 1/2" NPT BRASS (VARIANTS) |
| SPRINKLER HEADS | 1/2" NPT BRASS (VARIANTS) |
| SPRINKLER HEADS | 1/2" NPT BRASS (VARIANTS) |
| SPRINKLER HEADS | 1/2" NPT BRASS (VARIANTS) |

- MATERIAL LEGEND**
- | | |
|------------------------------|---------------------------|
| 24x24x1/4" STAINLESS STEEL | BRICK VENEER MASONRY |
| 24x24x1/4" ALUMINUM ANODIZED | MANUFACTURED STONE VENEER |
| 24x24x1/4" POLISHED CONCRETE | MANUFACTURED STONE VENEER |
| 24x24x1/4" BRASS | MANUFACTURED STONE VENEER |
| 24x24x1/4" BRASS (VARIANTS) | MANUFACTURED STONE VENEER |
| 24x24x1/4" BRASS (VARIANTS) | MANUFACTURED STONE VENEER |
| 24x24x1/4" BRASS (VARIANTS) | MANUFACTURED STONE VENEER |
| 24x24x1/4" BRASS (VARIANTS) | MANUFACTURED STONE VENEER |
| 24x24x1/4" BRASS (VARIANTS) | MANUFACTURED STONE VENEER |

- general notes: elevation**
1. ELEVATIONS SHALL BE SHOWN AS SHOWN UNLESS OTHERWISE NOTED.
 2. ELEVATIONS SHALL BE SHOWN AS SHOWN UNLESS OTHERWISE NOTED.
 3. ELEVATIONS SHALL BE SHOWN AS SHOWN UNLESS OTHERWISE NOTED.
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 25. ELEVATIONS SHALL BE SHOWN AS SHOWN UNLESS OTHERWISE NOTED.



Nature Church Residences
Collingwood
Green - Ph V

6 2022 REV.
REVISED FOR PERMITS.
ALL RIGHTS RESERVED.

DATE: 04.27.2022
PROJECT #: 2120

DATE: 04.27.2022

DATE: 04.27.2022

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DATE: 04.27.2022

LHSC CORPORATION
LHC GROUP
CORPORATION
LHC GROUP

BERARDI+
ARCHITECTURE

LUCAS HOUSING