



TOLEDO-LUCAS COUNTY PLAN COMMISSIONS

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THOMAS C. GIBBONS, DIRECTOR



DATE: December 7, 2018

REF: Z-10003-18

TO: President Matt Cherry and Members of Council, City of Toledo

FROM: Toledo City Plan Commission, Thomas C. Gibbons, Secretary

SUBJECT: Request for a Zone Change from CR Regional Commercial & RS6 Single Dwelling Residential to CR Regional Commercial at 4216 Secor Road.

The Toledo City Plan Commission considered the above-referenced request at its meeting on Thursday, December 6, 2018 at 2:00 P.M.

GENERAL INFORMATION

Subject

Request	-	Zone Change from CR Regional Commercial & RS6 Single Dwelling Residential to CR Regional Commercial
Location	-	4216 Secor Road
Applicant	-	Jim Earl Earl Brothers LLC 5257 Renwyck Toledo, Ohio 43615

Site Description

Zoning	-	CR & RS6 / Regional Commercial & Single Dwelling Residential
Area	-	± 0.62 acres
Frontage	-	± 85' along Secor Road ± 85' along Vogel Drive
Existing Use	-	Vacant land
Proposed use	-	Auto repair service (Light Equipment Repairs)
Neighborhood Org.	-	None
Overlay	-	None

GENERAL INFORMATION (cont'd)

Area Description

North	-	Single family residential, dentist office / RS6 & CR
South	-	Parking lot, dentist office / RS6 & CR
East	-	Single family residential / RS6
West	-	Apartment complex, medical offices / CR & CO

Parcel History

P-2-81	-	Off street parking permit serving commercial use in a residential district for a site near Secor Road and Corydon Drive; C-3 to R-2 (P.C. approved on 03/31/1981).
Z-21-C290	-	Zone Change from R-1 to C-2 at 4154 Secor Road (P.C. rec. disapproval with conditions on 5/11/1961).

Applicable Plans and Regulations

- Toledo Municipal Code Part Eleven: Planning and Zoning
- Toledo 20/20 Comprehensive Plan

STAFF ANALYSIS

The applicant is requesting a Zone Change from RS6 Single Dwelling Residential & CR Regional Commercial to CR Regional Commercial for a site located at 4216 Secor Road. The ±0.62-acre parcel is split zoned in half with CR in the front & RS6 in the rear. The front half of the parcel is occupied by an existing auto repair service business while the rear portion of the property is currently vacant with frontage on Vogel Drive. Adjacent land uses include single family houses and a dentist office to the north, single family houses east across Vogel Drive, a dentist office to the south and medical offices across Secor Road to the west.

The applicant intends to expand the existing auto repair service business into the rear portion of the property. A Zone Change is required for this portion of the property since Light Equipment Repairs are not permitted in the current RS6 zoning district. The Zone Change to CR Regional Commercial will permit the applicant to expand the commercial land use and existing building.

STAFF ANALYSIS (cont'd)

Future Developments

A Minor Site Plan Review will be required in accordance with TMC§1111.0802(A)(1) & (2) before any expansion can take place on site. Through the installation of landscape buffers, efforts shall be taken to protect visibility from the neighboring residential properties and along Vogel Drive. A complete landscaping plan must be submitted which indicates the proper screening and buffering mechanisms.

Specific regulations in the Zoning Code restrict the location and access of commercial parking areas when adjacent to residential districts. Pursuant to TMC§1107.1203(A), street access to a parking lot in a Commercial zoning district must be from a major street or from a street located in a Commercial district with Commercial zoning on the opposite side of the street. Vogel Drive is located within a residential district and not considered a major street. Additionally, there is residential zoning on the opposite side of the street. Therefore, access to Vogel Drive shall not be permitted for any future expansion or modification of the site.

Toledo 20/20 Comprehensive Plan

The Toledo 20/20 Comprehensive Plan targets this site for Neighborhood Commercial land uses. The intent of the Neighborhood Commercial future land use designation is to accommodate small and medium scale commercial uses that serve neighborhoods although it may include offices and mixed uses.

Staff recommends approval of the Zone Change for this location because it is compatible with the current zoning designations to the north, south and west of the subject property. Additionally, the proposed CR zoning is consistent with the established land uses of properties immediately to the south and west of the site. Finally, staff recommends approval of the Zone Change due to the physical suitability of the subject property for the existing land use which is permitted under the proposed CR Regional Commercial zoning classification.

PLAN COMMISSION RECOMMENDATION

The Toledo City Plan Commission recommends approval of Z-10003-18, a request for Zone Change from CR Regional & RS6 Single Family Residential Commercial to CR Regional Commercial at 4216 Secor Road, to Toledo City Council for the following three (3) reasons:

1. The proposed CR Regional Commercial zoning is similar to existing land uses within the general vicinity of the subject property (TMC§1111.0606(B) – *Review & Decision-Making Criteria*).

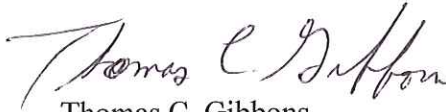
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PLAN COMMISSION RECOMMENDATION (cont'd)

2. The proposed CR Regional Commercial zoning is consistent with the zoning classification of properties within the general vicinity of the site (TMC§1111.0606(C) – *Review & Decision-Making Criteria*); and
3. The physical suitability of the subject property for the uses permitted under the proposed CR Regional Commercial zoning classification (TMC§1111.0606(D) – *Review & Decision-Making Criteria*).

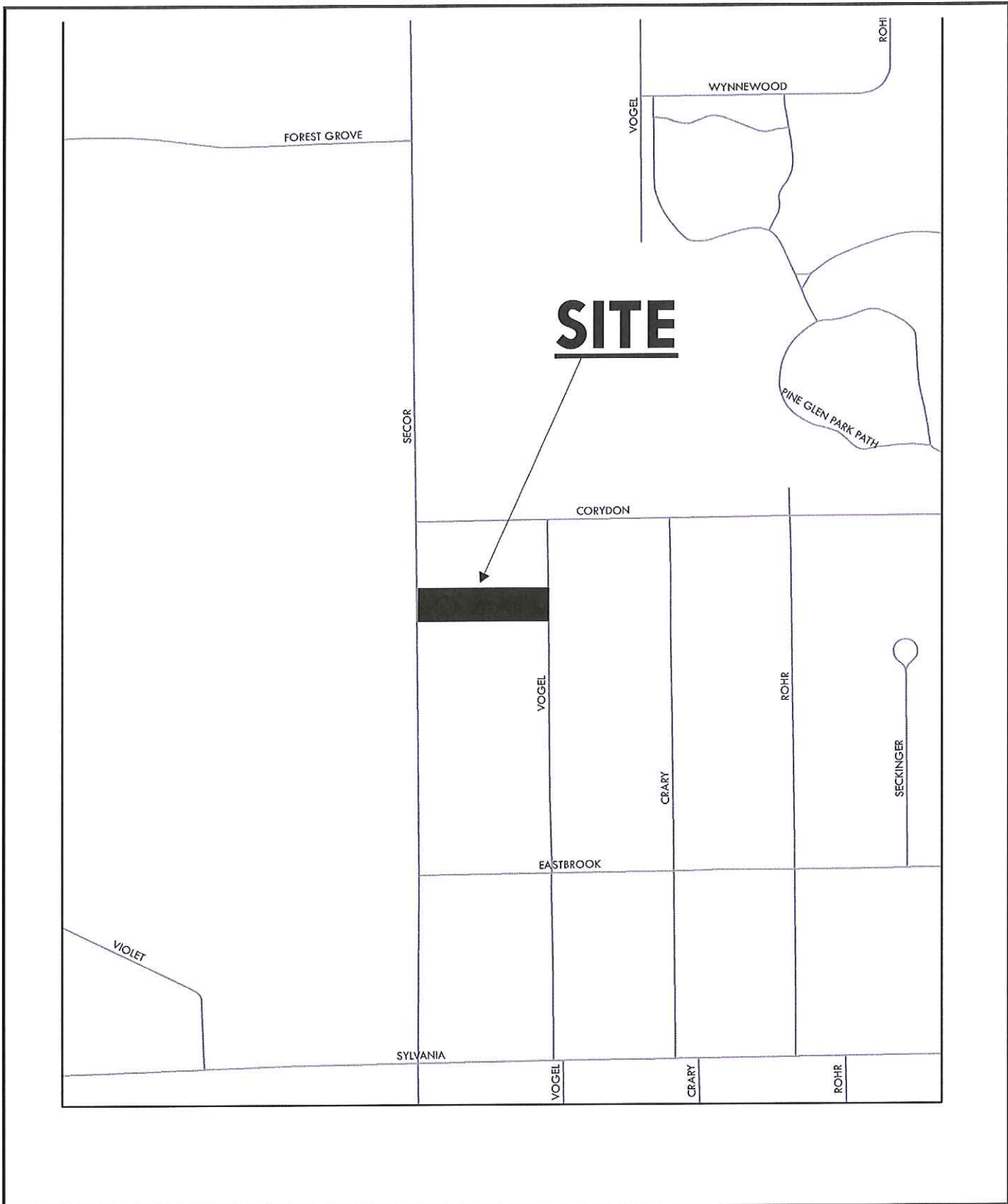
Respectfully Submitted,


Thomas C. Gibbons
Secretary

Cc: Lisa Cottrell, Administrator
Ryne Sundvold, Planner

GENERAL LOCATION

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ID 49



ZONING AND LAND USE

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