

REF: DOD-2-23  
DATE: April 13, 2023

## GENERAL INFORMATION

### Subject

Request	-	Downtown Overlay District Review of Building Demolition
Location	-	617 Madison Avenue
Owner	-	617 Madison LLC 401 S Washington Square Suite 102 Lansing, MI 48933
Architect	-	RKP Group 401 S Washington Square Suite 102 Lansing, MI 48933

### Site Description

Zoning	-	CD / Downtown Commercial
Area	-	± 0.15 acres
Frontage	-	± 54' along Madison Avenue ± 125' along Erie Street
Existing Use	-	Vacant bus station
Proposed Use	-	Parking garage
Neighborhood Org.	-	ConnecToledo
Overlay	-	Downtown Overlay District

### Area Description

North	-	Offices and off-street parking / CD
East	-	The Nasby Building / CD
South	-	Offices, retail / CD
West	-	Vacant commercial / CD

### Parcel History

M-29-80	-	Downtown Overlay District review of TARTA CBD bus loop stations (PC rec. approval on 12/4/1980; Ord. 36-81 passed 2/14/1981)
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## GENERAL INFORMATION (cont'd)

### Parcel History (cont'd)

DOD-7-92 - Downtown Overlay District review of TARTA Park Station renovations on the SE corner Madison Ave. and Erie St. (PC approved administratively 8/25/92)

### Applicable Plans and Regulations

- Toledo Municipal Code Part Eleven: Planning and Zoning
- Toledo 20/20 Comprehensive Plan
- 2017 Downtown Master Plan

## STAFF ANALYSIS

The applicant is requesting a Downtown Overlay District (DOD) review for the demolition of a building located at 617 Madison Avenue. The ±0.15-acre site is occupied by a vacant bus station and Zoned CD Downtown Commercial. Surrounding land uses a parking lot and parking garage to the north; offices, retail, and the Nasby building the south; offices and the Nicholas Building to the east; and offices and a parking lot to the west.

The applicant is requesting this review to demolish a former TARTA bus station. This TARTA bus station, called the “Park Station”, was built in 1982 and was one of the stations along the former Downtown bus loop. There is also a small urban park on the property, also slated to be demolished. The property and building have been vacant for several years, and the former Downtown bus loop is no longer in use. As the building was constructed to serve a unique purpose, the structure is functionally obsolete and it would be difficult to rehabilitate the building to serve another use. The interior is 1,156 square feet, and most reuses would require a larger footprint than what the building provides. The applicant estimates that the cost to renovate the building would cost \$350 per square foot. The Lucas County Auditor’s Office estimates the value of the building at \$138,100, and therefore the cost to renovate exceeds \$400,000, resulting in a negative return on investment.

The applicant is requesting the demolition in order to facilitate the rehabilitation of the Nasby Building, which is located directly east of the subject property. The applicant is a development firm which has redeveloped several properties in the Downtown. The property is proposed to serve as a staging area while work on the Nasby Building is underway. Once construction is complete, the applicant plans to develop the staging area into a parking garage to serve the Four Corners Buildings. Per TMC§1111.0800 and TMC§1111.0900, the parking garage shall have both a Downtown Overlay Review as well as a minor Site Plan Review approved prior to obtaining building permits for construction.

## **STAFF ANALYSIS (cont'd)**

### Downtown Overlay District (DOD)

The property is located within the Downtown Overlay District. The DOD was created as an overlay district that is applied to physical changes to structures located within and adjacent to the Central Business District. DOD regulations apply in combination with underlying base zoning district regulations and all other applicable standards of the Toledo Municipal Zoning Code.

Pursuant to TMC§1103.0206, review of proposals for demolition must be based on the Comprehensive Plan, the Downtown Toledo Master Plan, the CBD Architectural Survey Report (1986), and any other additions and amendments approved by the Plan Commission and City Council. Per TMC§1111.0904(B), the Plan Commission has review and approval authority for Demolition Review after seeking comment from the City Historic District Commission. As stated in TMC§1111.0904(C), when applications are made to demolish a structure, the Plan Commission must approve the application when it finds that an economic hardship exists in that either there is no reasonable economic use or return for the structure, deterioration has progressed to the extent that rehabilitation is not economically sound; or the structure is of no reasonable value to the DOD.

### Downtown Master Plan

The 2017 Downtown Master Plan recognizes that Downtown Toledo needs to continue to be enhanced as a place to do business. An active downtown environment with mixed activities, accommodations, and eateries will invite tourists to make Downtown the center of their visit to Toledo, and will have significant impacts on its revitalization. The Downtown Master Plan highlights Huron Street's location in the core of downtown as an area to attract a diversity of consumers, from workers and residents to patrons of the Huntington Center and Valentine Theater. Its greatest appeal is place-based, however, with some of the city's most elegant remaining historic stock of urban buildings and storefronts. It recommends a strategy be created to rehabilitate the Four Corners at Huron and Madison Streets and attract major anchor tenants. This rehabilitation will catalyze other development along the corridor.

The Downtown Master Plan also notes the limited parking in the area available to serve the Four Corners Buildings, and states that this portion of the Downtown may benefit from a strategic investment in parking.

### The Toledo City Historic District Commission

On March 27, 2023, the applicant proposed the demolition to the Toledo City Historic District Commission (TCHDC). The Commission discussed the historical value of the TARTA bus station, and weighed the loss of the structure against the rehabilitation of the Nasby Building. Additionally, the Commission did not have reservations about the proposed parking garage, as it will serve four (4) significant Downtown buildings. The Commission members reached a consensus that the building may be demolished, however the property shall not be utilized as an off-street surface parking lot per TMC§1107.0203.

## **STAFF ANALYSIS (cont'd)**

### Toledo 20/20 Comprehensive Plan

The Toledo 20/20 Comprehensive Plan targets this site for Downtown Commercial land uses. The CD Downtown Commercial district is intended to accommodate a broad range of uses to reflect Downtown's roles as a commercial, cultural and government center. Developments are intended to be dense with high amounts of building coverage and decreased setbacks, creating a more built environment with increased accessibility. Development is largely pedestrian-oriented with a strong emphasis on safe and attractive streetscapes. The proposed demolition will allow for the redevelopment of neighboring properties, which conforms to the 20/20 Comprehensive Plan.

Staff recommends approval of the demolition of the TARTA "Park Station" as the structure is functionally obsolete and the cost to renovate the structure is greater than the value of the building. Also, the Toledo Citywide Historic District Commission recommends approval of the demolition. Lastly, the proposed demolition will support the redevelopment of the Nasby Building, which conforms to the Toledo 20/20 Comprehensive Plan and the Downtown Master Plan.

## **STAFF RECOMMENDATION**

The staff recommends that the Toledo City Plan Commission approve DOD-2-23, a request for a Downtown Overlay District (DOD) review of a at 617 Madison Avenue, for the following three (3) reasons:

1. The building is functionally obsolete and the cost to renovate exceed the value of the structure,
2. The Toledo City Historic District Commission does not object to the demolition, and
3. The proposed demolition will allow for the redevelopment of underutilized buildings, which conforms to the Toledo 20/20 Comprehensive Plan and the Downtown Master Plan.

The staff further recommends that the Toledo City Plan Commission approve of DOD-2-23, a request for a Downtown Overlay District (DOD) review of a building demolition at 617 Madison, subject to the following **seven (7)** conditions:

### Plan Commission

1. Any necessary demolition permits shall be obtained through the City of Toledo Division of Building Inspections.
2. All easements and restrictions shall be recorded with the Lucas County Recorder's Office before building plan approval is granted.

**STAFF RECOMMENDATION (cont'd)**

Plan Commission (cont'd)

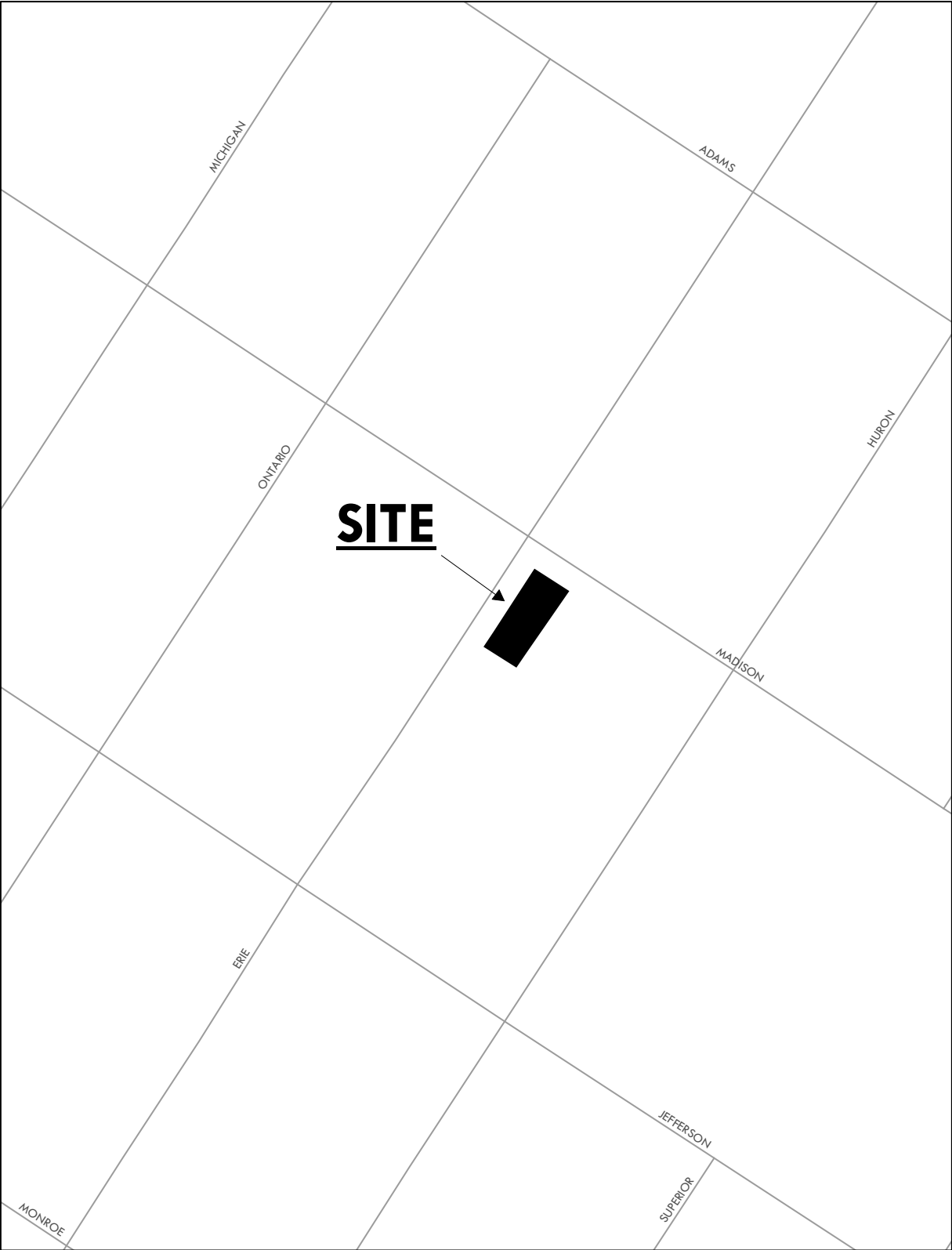
3. A Site Plan Review and Downtown Overlay Review shall be submitted for the proposed parking garage subject to the regulations of TMC§1103.0200.
4. A Downtown Overlay Review shall be submitted for the redevelopment/renovation of the existing façades and storefronts of the Nasby Building, subject to the regulations of TMC§1103.0200.
5. Off-street parking and loading spaces, parking lots, maneuvering aisles and driveways must be surfaced with concrete, bituminous asphalt, or other dust-free material other than gravel or loose fill, and be graded to drain all surface water toward the interior of the parking lot or to a stormwater treatment facility subject to the regulations approval of the Department of Public Utilities (TMC§1107.1906). **Per TCHDC and Plan Commission staff, property shall not be paved and shall be gravel for the duration of its use as a staging area.**
6. Minor adjustments to the site plan that do not violate the above conditions, or the Toledo Municipal Code, may be reviewed and approved by the Director of the Toledo City Plan Commission.
7. No permits shall be issued until arrangements satisfactory to the Director of the City of Toledo Plan Commission have been made for compliance with the conditions as set forth above.

DOWNTOWN OVERLAY DISTRICT  
TOLEDO CITY PLAN COMMISSION  
REF: DOD-2-23  
DATE: April 13, 2023  
TIME: 2:00 P.M.

DR  
Three (3) sketches follow

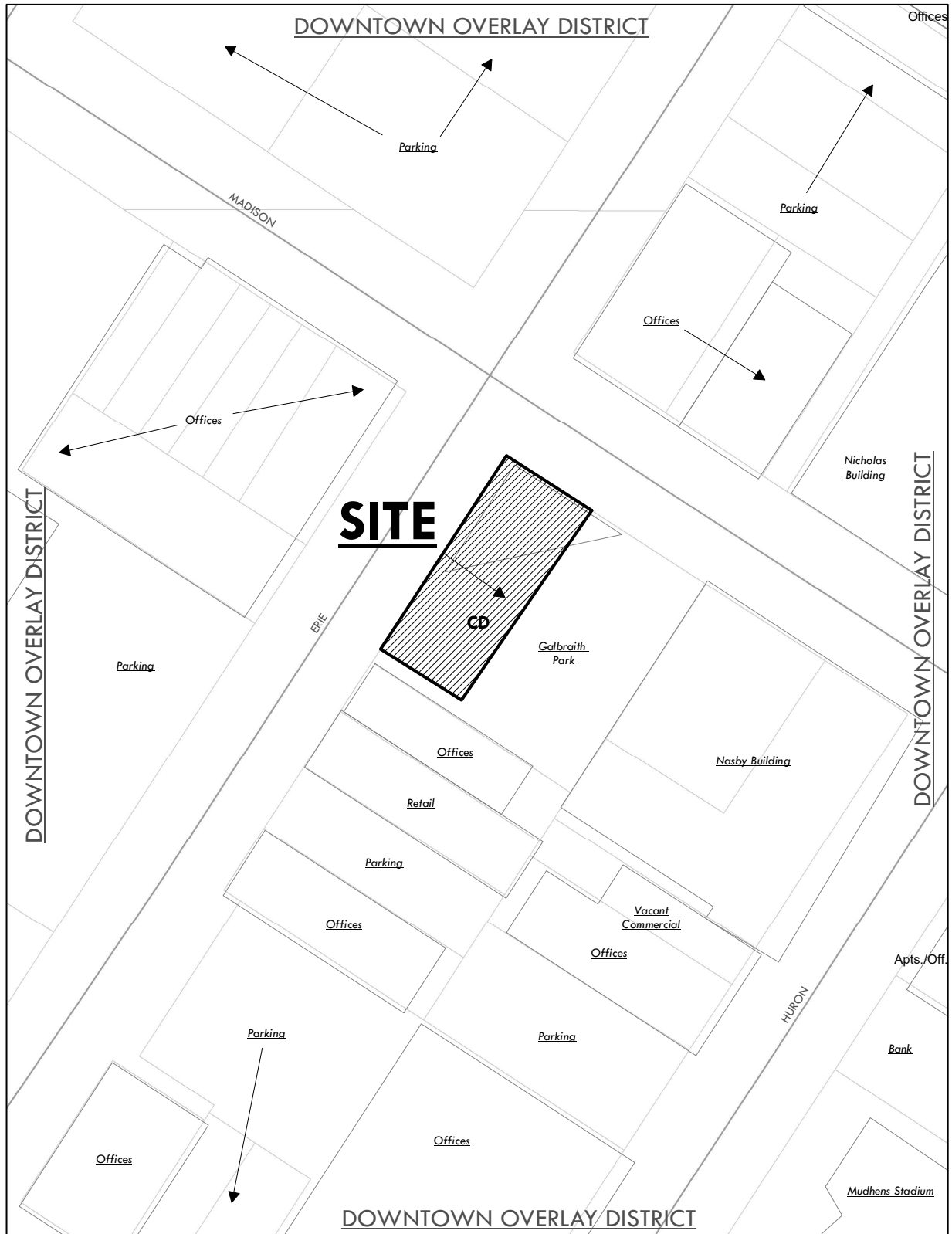
**GENERAL LOCATION**

**DOD-2-23**



# ZONING & LAND USE

DOD-2-23



# EXISTING STRUCTURE

DOD-2-23

