

TOLEDO - LUCAS COUNTY PLAN COMMISSIONS

One Government Center, Suite 1620, Toledo, OH 43604 P: 419 245-1200 F: 419 936-3730

REF: PUD-11007-23
DATE: January 11, 2023

TO: President Carrie Hartman and Members of Council, City of Toledo

FROM: Toledo City Plan Commission, Thomas C. Gibbons, Secretary

SUBJECT: Amendment to Planned Unit Development granted by Ord. 550-12, 87-17, 30-21 and 611-22

The Toledo City Plan Commission considered the above-referenced request at its meeting on January 11, 2023 at 2:00 P.M.

GENERAL INFORMATION

Subject

Request	-	Amendment to Planned Unit Development granted by Ord. 550-12, 87-17, 30-21 and 611-22.
Location	-	801 Division Street Toledo OH 43606
Applicant + Owner	-	Lucas County Metropolitan Housing 424 Jackson Street Toledo, OH 43604
Architect	-	Ray Micham The Collaborative One Seagate 550 N Summit Street, Level 118 Toledo, OH 43604
Engineer	-	Lewandowski Engineers 234 N. Erie Street Toledo, OH 43604

GENERAL INFORMATION (cont'd)

Site Description

Zoning	-	RM36-PUD / Multifamily Residential with Planned Unit Development
Area	-	± 20.0 acres (amended area is 0.31 acres)
Frontage	-	± 451' along Nebraska Avenue ± 182' along Rogan Way ± 390' along Clemente Trace
Existing Use	-	Vacant Lot
Proposed Use	-	Multifamily Housing

Area Description

North	-	RM36 / Apartments, Single-family Homes, Church
South	-	RM36, IL / Apartments, Manufacturing
East	-	IL / Interstate 75, Vacant Lots, Manufacturing, Warehouse
West	-	CM-PUD, POS, RM36 / Jones Leadership Academy, Church, Open Space

Parcel History

Z-51-85	-	Zone Change from C-3 to R-2 and R-5 to R-2. PC approved 04/25/85. Ord 353-85 passed 05/14/85.
M-14-95	-	Community Development Plan for the ONYX Community Development District. PC approved 05/03/95. Ord 375-96 passed 05/29/96.
S-16-02	-	Preliminary Drawing Review for Washington Village Plat Ten. PC approved 11/07/02.
S-31-04	-	Washington Village Plat X Preliminary Drawing Review. Withdrawn.
Z-1001-05	-	Zone Change from RS6 to CO. Withdrawn.
SPR-11-11	-	Major Site Plan Review of a 65 Unit Senior Housing Center. PC approved 09/06/11.

GENERAL INFORMATION (cont'd)

Parcel History

- Z-9003-12 - Zone Change from RS6 to RM36. PC rec approval 10/11/12. CC rec approval 11/14/12. Ord 549-12 passed 11/20/12.
- PUD-8007-12 - Request for a Planned Unit Development for a 207 dwelling unit housing complex located at 392 Nebraska Avenue. PC rec approval on 10/11/12. CC rec approval on 11/14/12. Ord 550-12 passed 11/20/12.
- V-28-13 - Request for the Vacation of portion of Avondale from Division Street to North South extension of Moorish Avenue. PC rec approval 02/14/13. CC rec approval 03/20/13. Ord 533-13 passed 11/11/13.
- V-441-13 - Request for the Vacation of all right of ways bounded by Nebraska Avenue, Division Street, Belmont Avenue, and Interstate 75. PC rec approval 10/10/13. CC rec approval 11/13/13. Ord 552-13 passed 12/10/13.
- S-24-13 - Request for the review of the Final Plat of Collingwood Green located at the intersection of Collingwood Boulevard and Nebraska Avenue. PC approved 10/23/13.
- V-29-13 - Request for the Vacation of Weiler Avenue from Nebraska Avenue to Belmont Avenue. PC rec approval on 02/14/13. CC rec approval 11/13/13. Ord 552-13 passed 12/10/13.
- PUD-11004-16 - Amendment to a Planned Unit Development, originally granted via Ord 550-12 for new multi-family housing at 392 Nebraska Avenue. PC rec approval 01/12/17. CC rec approval 02/15/17. Ord 87-17 passed 02/21/17.

GENERAL INFORMATION (cont'd)

Parcel History

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|--------------|---|---|
| V-166-17 | - | Vacation of portion of Belmont Ave, a portion of Bresnahans Green and a portion of Rogan Way. PC rec approval 06/08/17. CC rec approval 07/12/17. Ord 77-18 passed 02/27/18. |
| S-6-20 | - | Final Plat of Bresnahan Green and part of Belmont Avenue in Collingwood Green. PC approved 01/14/21. |
| V-444-20 | - | Vacation of a portion of Clemente Trace in Collingwood Green. PC rec approval 12/03/20. CC rec approval 01/06/21. |
| PUD-10007-20 | - | Amendment to Planned Unit Development, originally approved by Ord.87-17, for multi-family development. PC rec approval 12/03/20. CC rec approval 01/06/21. Ord 30-21 passed 01/19/21. |
| PUD-8005-22 | - | Amendment to Planned Unit Development, originally granted by Ord. 550-12, 87-17 and 30-21 for 75-unit senior housing with commercial units. PC rec approval 10/13/22. CC rec approval 11/16/22. Ord 611-22 passed 11/22/22. |

Applicable Plans and Regulations

- Toledo Municipal Code Part Eleven: Planning and Zoning
- Toledo 20/20 Comprehensive Plan

STAFF ANALYSIS

The applicant is requesting approval of an amendment to the Planned Unit Development (PUD), granted via Ord. 550-12, 87-17, 30-21 and 611-22 for a multi-family development at 801 Division Street. This amendment will affect the southern portion of the PUD, with the most changes occurring at block 8a. The site is zoned RM36 Multifamily Residential and with a PUD overlay. Surrounding land uses include multifamily housing, single-family houses and a church to the north; apartments and manufacturing to the south; Interstate 75 and warehouses to the east, and a park and Jones Leadership Academy to the west.

STAFF ANALYSIS (cont'd)

The Plan Commission in 2012 approved a PUD for Phase 1 of the Collingwood Green multi-family housing complex via Ord. 550-12. The proposal was for the development of 176 residential units dispersed throughout twenty-five (25) buildings, a mixed-use building with thirty-one (31) residential units above commercial space, and a separate community building. A total of 207 units were proposed as part of this initial PUD. In 2017, an amended PUD facilitating Phases 2 and 3 of development was approved via Ord. 87-17. The amendment requested revisions to fifteen (15) of the proposed buildings and to parking lot configurations.

Another amendment was approved in 2020 via Ord. 30-21 for phase IV of the Collingwood Green development. The changes included a reduction of the total number of units by twenty-five (25), reduction of the total number of parking spaces by 125, increased open space on the eastern side of the site, and the relocation of Clemente Trace. A third amendment was approved in 2022 for phase V of the development with site plan changes to Block 6b. The proposed changes include a Senior Housing complex with 75-dwelling units and a 7,139 square foot commercial space on the ground floor.

The applicant is requesting the PUD amendment to facilitate changes to the Collingwood Green development with site changes to Block 8a. The proposed changes include a 5-unit multifamily housing and a reduction in the open space on the east side of the site from 3.59 acres to 2.62 acres. The site plan from the 2022 amendment showed a footprint for a community center in the area being used for the proposed multifamily housing.

The PUD provides an overlay Zoning District that is intended to encourage innovative design, conservation of significant natural features or consolidation of open space in order to provide for a mixture of uses with an integrated design. PUD regulations are intended to promote consistency with the Comprehensive Plan and adopted Neighborhood Plans. The PUD development may be a residential, commercial, or industrial development or may be a combination of uses with no minimum site area required. All planned unit developments shall be platted in accordance with applicable subdivision rules and regulations.

Parking and Circulation

Pursuant to TMC§1107.0300, the required parking for multi-family housing is one (1) and one-half (1 ½) spaces for every one (1) dwelling unit, plus one (1) space per ten (10) units for visitor parking. For five (5) dwelling units eight (8) parking spaces are required plus one (1) space for visitor parking for a total of nine (9) spaces. The submitted site plan shows ten (10) parking spaces. Additionally, one (1) bicycle parking slot per ten (10) parking spaces is required. Four bicycle parking spaces are indicated on the submitted site plan.

STAFF ANALYSIS (cont'd)

A portion of the total number of required off-street parking spaces must be specifically designated, located, and reserved for use by persons with physical disabilities. According to the table in TMC§1107.1701 – *Number of Required Parking Spaces for Persons with Disabilities*, the applicant is required to provide at least one (1) van accessible space with an eight-foot (8') drive aisle for persons with physical disabilities. The site plan shows one (1) accessible parking space included in the total number of parking spaces for the proposed multifamily housing.

Density

The maximum density refers to the number of dwelling units allowed per acre of the site area, after subtracting existing rights-of-way from the gross site area. The maximum number of dwelling units permitted in the PUD is calculated by dividing the net residential acreage by the minimum lot area per dwelling unit as shown in TMC§1106.0100-Intensity and Dimensional Standards. For purposes of this calculation, net residential acreage equals eighty percent (80%) of the gross parcel acreage. Eighty percent (80%) of the development site is equal to sixteen (16) acres. The maximum number of dwelling units allowed in the RM36-Multifamily Residential Zoning District with a PUD is twenty-nine (29) units per gross acre.

Calculations conclude that a site comprised of 20.0 acres is permitted to accommodate a total of 464 units. The proposal of additional five (5) units is well below the allowed number of dwelling units and the proposal is in compliance. No more than forty percent (40%) of gross site acreage shall be devoted to coverage by buildings, structures, street pavement, driveway and parking area pavement (TMC§1106.0302(B) – Intensity and Dimensional Standards Table). The site plan submitted complies with the regulation.

Building Design

The intent of building design standards is to ensure a base level of quality architecture that contributes to the established architectural character of an area. Exterior walls are articulated in order to add architectural interest and variety and avoid the effect of a single, long or massive wall with no relation to human scale. The building design reduces its mass by dividing the building into smaller masses through the use of reveals and projections and changes in texture and color of wall surfaces. The proposed designs are compliant with building elevations approved via Ord. 87-17. The proposed design is in compliance with the Zoning Code.

Open spaces are a great benefit to the residents, employees, and visitors of multifamily developments. According to TMC§1103.1007(D) Planned Unit Development – Residential Standards, no less than fifteen percent (15%) of the gross site acreage shall be allocated to usable, accessible, and consolidated common open space. The site plan shows a 148.16 square foot of open space with site amenities for the development. A total of 2.62 acres of the overall 20.0 acre site is dedicated towards the consolidated common open space requirement and equates to thirteen percent (13%) of the site. This is less than the required fifteen percent (15%) of open space. The applicant is requesting a waiver from this requirement.

STAFF ANALYSIS (cont'd)

Open Space Requirements (cont'd)

All PUDs require an open area void of buildings, structures, parking areas or other above ground improvements, except fencing, to be maintained along all perimeter property lines. The landowner must establish an agency for the ownership and maintenance of common open spaces where such are to be retained in private ownership. In the event the agency established to own and maintain the common open space or any successor agency as a condition of approval, the City may serve written notice upon such agency or upon the residents and owners of the PUD.

Landscaping

Per TMC§1103.1010(G), landscaping for a PUD shall be reviewed and approved in accordance with the procedures of Chapter 1108-Landscaping and Screening. **TMC§1108.0202** requires a minimum of fifteen-foot (15') of landscaped frontage greenbelt along public rights-of-way. At least one tree must be provided for every 30 feet of lot frontage or fraction thereof. The frontage greenbelt shall also include a solid evergreen hedge to screen parking in the front of the property and prevent headlights from being seen from the right-of-way. A fifteen-foot (15') frontage greenbelt buffer is required along Nebraska Avenue, Rogan Way and Clemente Trace. The submitted site plan shows an eight-foot (8') buffer along Nebraska Avenue and a portion of Rogan Way. A three-foot (3') buffer is also shown along Clemente Trace. The applicant is requesting a waiver from the fifteen-foot (15') frontage greenbelt requirement. The submitted site plan also shows five (5) and three (3) trees along Clemente Trace and Rogan Trace respectively.

Parking lot landscaping is essential to prevent headlights from being seen from public rights-of-way, curb the urban heat island effect, and to beautify the site. TMC§1108.0204 - *Parking Lot Landscaping (Interior and Perimeter)* applies to RM36 Multi-Dwelling Residential off-street parking lots containing five (5) or more off-street parking spaces. **TMC§1108.0204(B)(9)** requires perimeter landscaping to be installed along any parking lot area adjacent to a street, place, or driveway, or which is visible from an immediately adjacent property, and must include a continuous shrub row with a minimum height of eighteen inches (18"). Perimeter landscaping must consist of a landscape area at least ten-feet (10) in width, exclusive of sidewalks, walkways, trails, or right-of-way and must be located between the parking lot and the property line. The site plan shows nine shrubs along Clemente Trace providing perimeter screening for the parking lot.

In addition to that, the total interior landscaping required for parking lots is twenty (20) square feet per parking space. The site's parking lot contains a total of ten (10) parking spaces, which requires a minimum of 200 square feet for interior parking lot landscaping. Additionally, two (2) canopy trees and six (6) shrubs are required to be installed in interior landscape areas for each ten (10) parking spaces. A total of two (2) trees and six (6) shrubs are required in the interior parking. This is acceptable as depicted on the submitted landscaping plan.

STAFF ANALYSIS (cont'd)

Landscaping (cont'd)

Finally, one (1) tree per 500 square feet of building coverage, or fraction thereof, is required for all structures. Additionally, foundation plantings and landscaping at major building entrances are required. The submitted landscape plan shows the required interior site landscaping throughout the site and along the building foundations.

Toledo 20/20 Comprehensive Plan

The Toledo 20/20 Comprehensive Plan targets the site for Multi-Family Residential land uses. This land use is primarily intended to accommodate the development of multi-dwelling housing and also intended to create, maintain and promote higher density housing opportunities in areas with good transportation access. Staff recommends approval of the applicant's request because the proposal is an appropriate use and conforms to the 20/20 Plan.

Staff has reviewed the proposed PUD in accordance with the criteria of TMC§1103.1000. Based on this, staff has determined that the proposed PUD is suitable for this location because the use meets the stated purpose of the Zoning Code, and the proposed development is consistent with the Toledo 20/20 Comprehensive Plan.

PLAN COMMISSION RECOMMENDATION

The Toledo City Plan Commission recommends approval of PUD-11007-23, an amendment to Planned Unit Development granted by Ord. 550-12, 87-17, 30-21 and 611-22 at 801 Division Street to the Toledo City Council for the following **two (2) reasons**:

1. The proposed use meets the stated purpose of the Zoning Code; and,
2. The proposed use conforms to the Toledo 20/20 Comprehensive Plan.

The staff recommends that the Toledo City Plan Commission recommend approval of the following two (2) waivers:

Chapter 1108 – Landscape and Screening

Sec. 1108.0202 landscape Standards

TMC§1108.0202(B) – Frontage Greenbelt

3. Frontage greenbelts shall be a minimum width of fifteen feet (15'). For properties over five (5) acres and/or those with over five-hundred feet (500') of frontage, the frontage greenbelt shall be a minimum of thirty feet (30') wide measured perpendicular from the street or place right of way abutting the property.

PLAN COMMISSION RECOMMENDATION

Approve a waiver to reduce required frontage greenbelt buffer to eight feet (8') along Nebraska Avenue and a portion of Rogan Way and three feet (3') buffer along Clemente Trace due to limited space.

Chapter 1103 Overlay Zoning Districts

Sec.1103.1000 PUD Planned Unit Development Overlay District

TMC§1103.1007(D) – Residential Standards

No less than 15 percent of the gross site acreage, none of which is part of any required yard or perimeter open space, shall be allocated to usable, accessible and consolidated common open space and may be allocated on a plat by plat basis (one-third of the required common open space may be a lake or pond or storm detention or retention area). This open space shall be delineated on the plat as a lettered lot.

Approve a waiver to reduce the required open space from 15 percent to 13 percent because a 2% reduction in open space does not create issues and there is still sufficient space for residents to use.

The Toledo City Plan Commission further recommends approval of PUD-11007-23, an amendment to Planned Unit Development granted by Ord. 550-12, 87-17, 30-21 and 611-22 at 801 Division Street to the Toledo City Council, subject to the following **forty-three (43)** conditions:

The following conditions are listed by agency of origin. Applicants are encouraged to contact each of the agencies to address compliance with their conditions.

Engineering Services

1. All proposed drive approaches, sidewalk, and curb shall be constructed in accordance with the City of Toledo Construction Standards, Specifications, and Toledo Municipal Code. All drive approaches, and sidewalk through the drives, shall be 6" thick concrete residential, 8" thick concrete commercial. No curb shall be permitted in the right-of-way along either side of the drive approach. **No horizontal curb cutting will be permitted.**
2. Improvements per City of Toledo Infrastructure Design and Construction requirements.
3. Required permits for all approved work in the public right-of-way shall be obtained, before work begins, from One Stop Shop, (419)-245-1220. Contact Joe Warnka at (419) 245-1341 for inspection of above-mentioned items.
4. Detailed plans shall be submitted to the Division of Engineering and Construction Management and the Division of Water Distribution for review and approval.

PLAN COMMISSION RECOMMENDATION (cont'd)

Engineering Services (cont'd)

5. Full stormwater submittal requires multiple items:
 - a. Items are listed on the regional SWP3 submittal coversheet at <https://tmacog.org>. A version for use in Toledo has been provided to the SWP3 designer for this proposal.
 - b. Plans according to the 2014 Infrastructure Requirements document found in the drop-down menu on this page: <https://toledo.oh.gov/business/how-to-build-in-the-city/building-inspection-permits>.
 - c. The underground system design and accompanying long term maintenance plan shall meet the expectations of the Ohio Construction permit and latest revised chapter of the Ohio Rainwater Manual, including necessary access and inspection ports and structures.
6. Following the stormwater review, additional items are needed for final approval:
 - a. As listed on the regional SWP3 submittal cover sheet (stage 2). Long term operation and maintenance instructions for the post-construction measures are to be added by the applicant to a campus-wide stormwater O&M document for LMHA sites.
 - b. Fee and a Toledo Licensed Sewer Contractor for the sewer construction permit. A fee calculation and submittal form has been provided to the SWP3 designer.
 - c. Construction inspection and completion of obligations in the stormwater permit.
7. The underground detention system (UDS) is proprietary and outside the scope of the City's services for sewer inspection. The following notes shall be added to the plans:
 - a. The Contractor shall have the underground detention system manufacturer's representative on-site during the installation of the UDS. This representative shall advise the contractor as to the required installation procedures for the UDS.
 - b. The City of Toledo will be provided with an as-built signature by an Ohio P.E. representing the detention system manufacturer with the certification statement to the effect of: 'I certify that the underground detention system was installed in accordance with the manufacturer's installation requirements and that the underground detention system will function as designed in accordance with the contract documents.'
8. Sanitary sewer service for this development is available subject to the Rules and Regulations of the Department of Public Utilities.

PLAN COMMISSION RECOMMENDATION (cont'd)

Engineering Services (cont'd)

9. A single sanitary sewer tap from this site shall be allowed into the public sanitary sewer system. Developer shall use existing sanitary tap.

Water Distribution

10. Water service is available subject to the Rules and Regulations of the Department of Public Utilities.
11. Detailed plans for the proposed water main shall be submitted to the Division of Water Distribution for review and approval.
12. Plans must be submitted to Fire Prevention (rex.butler@toledo.oh.gov, 419.936.2008) for review and approval.
13. The water meter setting detail, including meter bypass (if applicable) and backflow preventer, shall be submitted to the City of Toledo Backflow Prevention Coordinator, 401 S Erie Street, Toledo, OH 43604 for review and approval. Approval of site utility plan is contingent on approval of meter setting and backflow preventer.
14. All commercial properties are required to have approved backflow protection devices installed on the domestic water service and fire protection lines. Installation of the devices must be verified by the Division of Water Distribution and all devices must be registered with BSIonlinetracking.com @ (800) 414-4990. Contact the Division of Water Distribution (419-392-2032) to verify the backflow prevention requirements for the site.
15. Existing water service lines to structures removed from the site will be abandoned by the City of Toledo at the developer's expense.
16. Detailed plans should include:
 - a. Water feature sizes and distances; maintain 18" vertical clearance between proposed water main and proposed storm sewers.
 - b. Include a callout for all tapping sleeve and valve by the City of Toledo at the developer's expense. Excavation, shoring, valve box, backfill and restoration by the contractor.

PLAN COMMISSION RECOMMENDATION (cont'd)

Division of Sewer & Drainage Services

17. S&DS requires that all existing private sewer lines that are not being removed or properly abandoned (both storm & sanitary) be cleaned and inspected.
18. S&DS requires that the existing private sanitary lines (after they have been cleaned) that are not being removed or properly abandoned be televised from the building (or private cleanout) to where they connect with the public sewer system if this has not been done in the past (2) two years. An electronic copy (DVD/memory stick) shall be provided to S&DS demonstrating the lines cleaning and integrity.
19. For operation and maintenance purposes, 20-foot-wide sewer and drain easements (centered on the pipe), for City use, shall be retained along the existing public sewers and drains located within the proposed use area. City access to the easement area shall not be denied by fences, walls, or other barriers. The easement shall state that no temporary or permanent structure (excluding parking lot pavement), including barriers denying access, may be constructed within the easement area.

Bureau of Fire Prevention

20. All new buildings will require compliance with all applicable Building, Fire, Electrical, Mechanical and Plumbing code requirements. (OBC105.1 & 101.4)
21. Public and private fire service mains and appurtenances will be required and location approved by the Fire Prevention Bureau. (OFC507.5.1 / TMC1511.03 Ohio Fire Code Amendments)
22. Fire Department to receive and review building construction plans when submitted to the Building Department. (OFC104.2, OBC106.1.2 #5 & 901.2.1.1)
23. A Knox Box key box for all buildings is required for after-hours access for life saving and firefighting purposes (OFC 506.1)
24. New and existing buildings shall be provided with approved address identification that meets Building Code requirements. (OBC 501.2)
25. A fire safety inspection is required prior to occupancy. (OFC105.3.3.2)

Division of Transportation

26. Wheel stops are required at all parking spots abutting property lines, sidewalk, planting strips and buildings per TMC 1107.1907.

PLAN COMMISSION RECOMMENDATION (cont'd)

Division of Transportation (cont'd)

27. Accessible parking signage must be posted directly in front of the parking space at a height of no less than 60" and no more than 72" above pavement level per TMC 1107.1704.
28. All new and existing parking and drive aisles must be clearly shown with dimensions per TMC 1107.1911.

Environmental Services

29. Applicant shall maintain compliance with the City of Toledo's Storm Water regulations as specified in the Toledo Municipal Code. Special attention must be paid to all potential storm water impacts from the modification of the site, including but not limited to long-term operation and maintenance of existing structural and non-structural Best Management Practices.
 - a. Notification shall be made to the Division of Environmental Services (419-936-3015) no later than three days prior to commencement of construction activities.
 - b. Construction BMPs shall be in place prior to the start of construction activities.
 - c. SWP3 inspection reports shall be kept on site with the SWP3 and readily accessible during normal working hours.
30. Applicant shall maintain compliance with Ohio EPA's General Storm Water NPDES permit programs.
31. Applicant is strongly encouraged to include multiple green infra-structure measures to minimize runoff and increase infiltration, and to minimize the amount of new and/or additional impervious surface on the site.
32. Applicant is strongly encouraged to plant native, low maintenance and non-invasive trees, shrubs and perennials. Information is at <https://ohiodnr.gov/wps/portal/gov/odnr/discover-and-learn/plants-trees/invasive-plants>; a list of invasive plants and alternative species can be downloaded from https://www.oipc.info/uploads/5/8/6/5/58652481/alternatives_to_ohio_invasive_plant_species.pdf
33. Applicant shall maintain compliance with the City of Toledo and the State of Ohio's Air Quality Regulations applicable in the Toledo Municipal Code and the Ohio Administrative Code including, but not limited to the Asbestos and the Anti-Noise Laws.

PLAN COMMISSION RECOMMENDATION (cont'd)

Plan Commission

34. In the event the agency established to own and maintain the common open space or any successor agency shall at any time after establishment of the Planned Unit Development fail to fulfill any obligation of such agency as a condition of approval, the City may serve written notice upon such agency or upon the residents and owners of the Planned Unit Development, setting forth the manner in which the agency has failed to fulfill its obligation. The notice shall include a demand that such deficiencies be cured within the time specified within the notice. If such deficiencies are not cured within the specified time, the City, in order to preserve the taxable values of the properties within the Planned Unit Development and to prevent the common open space from becoming a public nuisance, may enter upon the common open space and maintain the same and perform the other duties of the agency until such agency shall gain resume its obligations. All costs incurred by the City in carrying out the obligations of the agency shall be assessed against the properties within the Planned Unit Development and shall become a tax lien on the properties.
35. Off-street parking shall be provided pursuant to Off-Street Parking Schedule "A," (TMC§1107.0304). Minimum number of off-street parking spaces required for multi-family housing is one (1) and one-half (1 ½) spaces for every one (1) dwelling unit, plus one (1) space per ten (10) units for visitor parking. A total of nine (9) parking spaces is required for the use. The submitted site plan shows ten (10) parking spaces. **Acceptable as depicted on submitted site plan.**
36. Bicycle parking slots shall be provided pursuant to Off-Street Parking Schedule "A," (TMC§1107.0300). Minimum number of bicycle parking slots required for a multifamily housing is one (1) bicycle parking per ten (10) parking spaces. Four (4) bicycle parking spaces are indicated on the submitted site plan. **Acceptable as depicted on submitted site plan.**
37. Any spaces reserved for the use by persons with physical disabilities shall adhere to the standards outlined in TMC§1107.1700. One (1) van accessible space with an eight-foot (8') drive aisle is required. **Acceptable as depicted on submitted site plan.**
38. Off-street parking and loading spaces, parking lots, maneuvering areas, aisles and driveways must be surfaced with concrete, bituminous asphalt, or other dust-free material other than gravel or loose fill, and be graded to drain all surface water towards the interior of the parking lot or to a stormwater treatment facility subject to the regulations and approval of the Department of Public Utilities.

PLAN COMMISSION RECOMMENDATION (cont'd)

Plan Commission (cont'd)

39. Dumpster location(s) shall be clearly defined, have a concrete pad and be surrounded by a solid wooden fence or a masonry screen enclosure with landscaping and shall not be located in any required setbacks or the public right-of-way as stated in **TMC§1361.10(b)(10)** of the Building Code. **If applicable.**
40. A detailed site, lighting, fencing and four (4) copies of a landscaping plan (separate from building & site plans) shall be submitted to the Plan Director for review and approval. Such plan shall include:
 - a. A fifteen-foot (15') frontage greenbelt buffer is required along Nebraska Avenue, Rogan Way and Clemente Trace. At least one tree must be provided for every 30 feet of lot frontage or fraction thereof. The frontage greenbelt shall also include a solid evergreen hedge to screen parking in the front of the property and prevent headlights from being seen from the right-of-way. The submitted site plan shows an eight-foot (8') buffer along Nebraska Avenue and a portion of Rogan Way. A three-foot (3') buffer is also shown along Clemente Trace. Five (5) and three (3) trees are indicated in the greenbelt buffer along Clemente Trace and Rogan Trace respectively. **Not acceptable as depicted on landscaping plan. Applicant shall obtain approval to a waiver from TMC§1108.0202(B)(3);**
 - b. Perimeter landscaping must be installed along any parking lot area adjacent to a street, place, or driveway, or which is visible from an immediately adjacent property, and must include a continuous shrub row with a minimum height eighteen inches (18"). **Acceptable as depicted on landscaping plan;**
 - c. Interior landscaping required in parking lots is 20 square feet per parking and stacking space. Two (2) canopy trees are required to be installed in interior landscape areas for each ten (10) parking spaces within the parking lot. Six (6) shrubs are required to be installed in interior landscape areas of each ten (10) parking spaces within the parking lot. **Acceptable as depicted;**
 - d. One 2-inch caliper tree for every 5,000 square feet of building coverage shall be required. Five (5) trees are required for this site. **Not acceptable as depicted on landscaping plan. Applicant shall provide square footage of proposed building to determine required number of trees.**
 - e. Landscaped areas may not contain bare soil, aggregated stone or decorative rock. Any ground area must be covered with hardwood mulch, grass or other vegetative ground coverage. **Acceptable as depicted on landscaping plan;**
 - f. Topsoil must be back filled to provide positive drainage of the landscape areas;

PLAN COMMISSION RECOMMENDATION (cont'd)

Plan Commission (cont'd)

- g. The location, number, height, diameter and species of any materials to be planted and maintained, as well as the location and number of any existing trees to be retained, trees, shrubs, and landscape materials shall meet the standards included in TMC 1108.0400 Landscape Materials Standards. **Acceptable as depicted on landscaping plan;**
 - h. Open space and planting materials shall be maintained in an appropriate manner to be utilized by residents.
 - i. All landscape material must be properly maintained. No approved plant material shall be removed for any reason without being replaced with like kind, or without submitting a revised landscape plan to the Planning Director for review or approval;
 - j. Because the site is greater than ½ acre large, landscaped areas must be irrigated as necessary to maintain required plant materials in good and healthy condition. Irrigation plans must be submitted with development plans and must contain all construction details;
 - k. The location and direction of any proposed **lighting (any lighting is to be directed away from adjacent residential properties).**
41. Building elevations are subject to TMC§1109.0500 – Building Façade Materials and Color. **Proposed elevations are acceptable as depicted.**
42. Minor adjustments to the site plan that do not violate the above conditions, or the Toledo Municipal Code, may be reviewed and approved by the Director of the Toledo City Plan Commission.
43. No permits shall be issued until arrangements satisfactory to the Director of the City of Toledo Plan Commission have been made for compliance with the conditions as set forth above.

Respectfully Submitted,



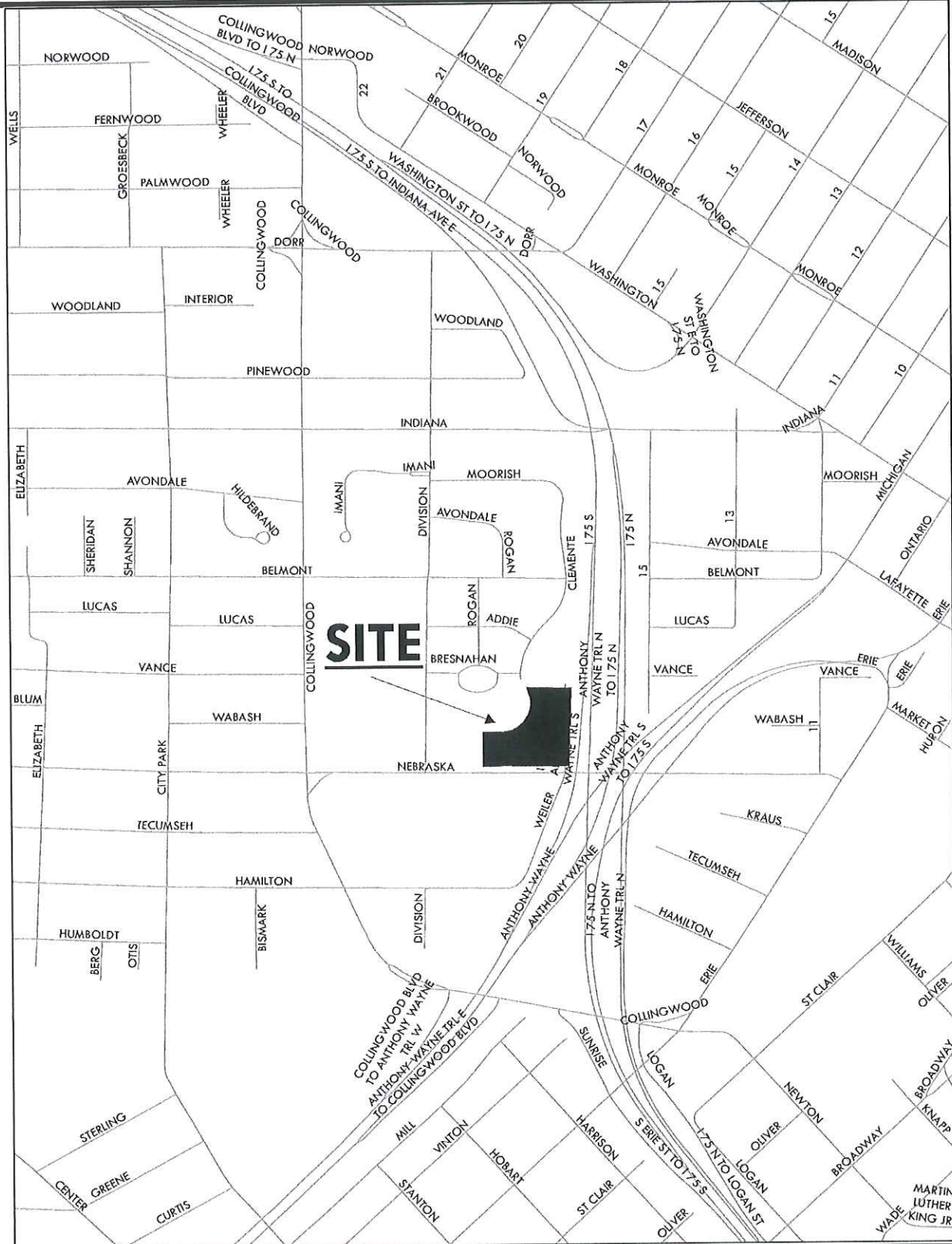
Thomas C. Gibbons

Secretary.

ET
Eight (8) sketches follow

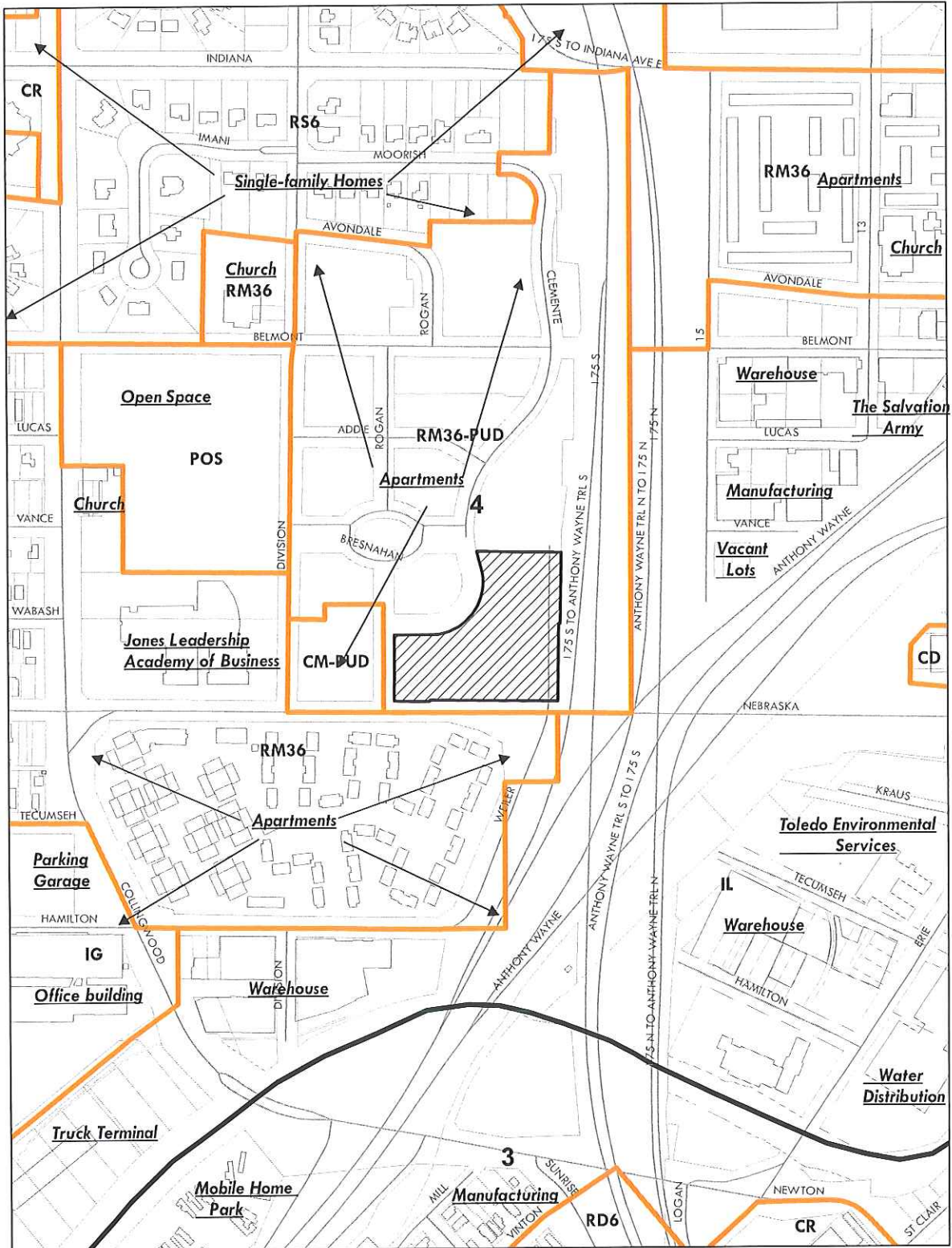
GENERAL LOCATION

PUD-11007-23



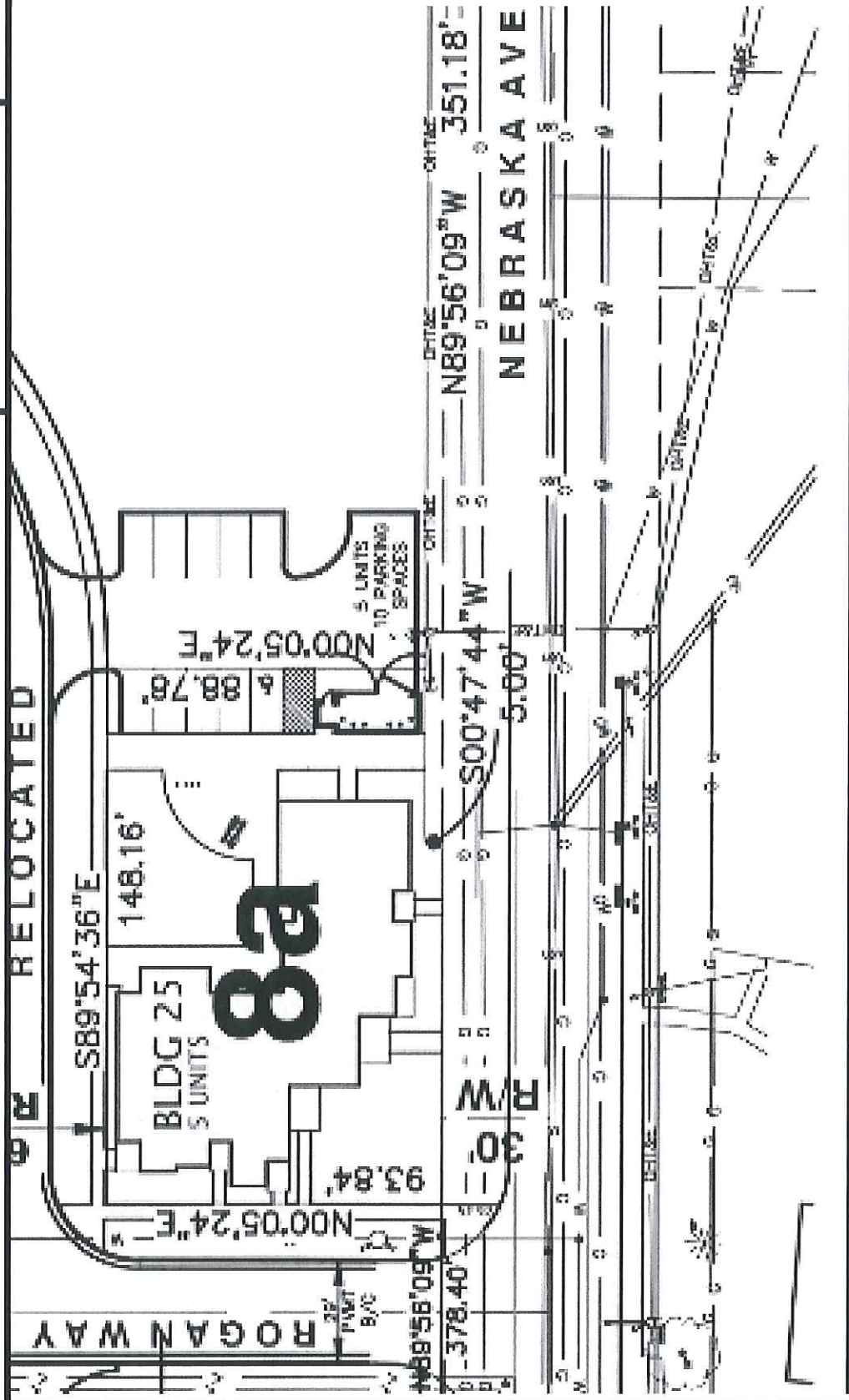
ZONING & LAND USE

PUD-11007-23



SITE PLAN - MAGNIFIED

PUD-11007-23

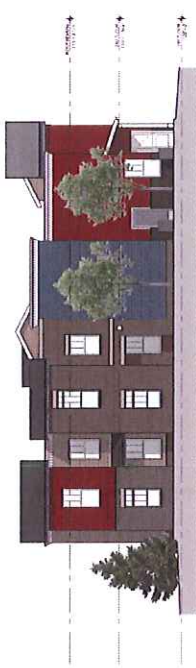


RENDERING

PUD-11007-23



1
A3
BUILDING A3 EAST ELEVATION
1/8" = 1/8"



1
A3
BUILDING A3 WEST ELEVATION
1/8" = 1/8"



2
A3
BUILDING A3 NORTH ELEVATION
1/8" = 1/8"



1
A3
BUILDING A3 SOUTH ELEVATION
1/8" = 1/8"

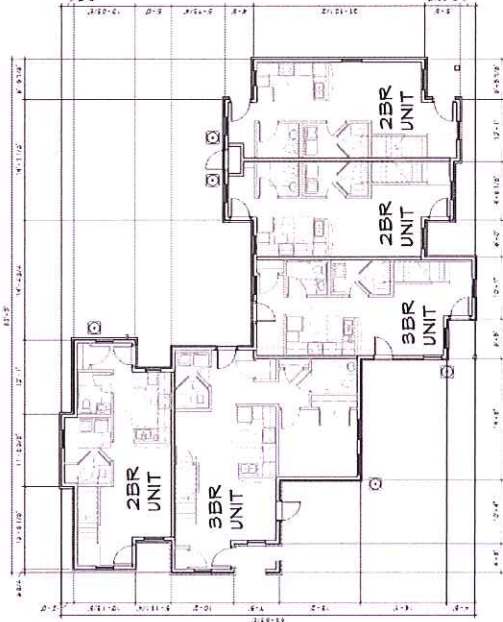
LMHA CWG
PHASE IV
TOLEDO, OHIO
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WRITTEN PERMISSION OF BERARDI+COLUMBUS
ARCHITECTURE, INC.

SCHEMATIC

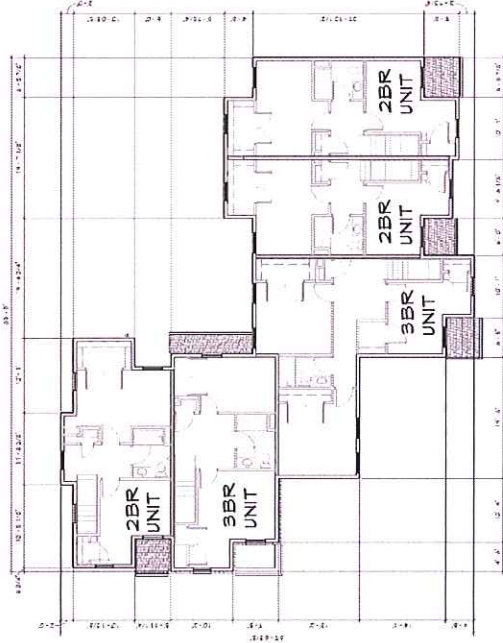
DATE: 11.22.2021
PROJECT: 202105

NEW 5
UNIT
BUILDING
A3

BERARDI+COLUMBUS
ARCHITECTURE, INC. 10000 E. SPENCER BLVD., INDIANAPOLIS, IN 46240
PH: 317.438.8888 WWW.BERARDI+C.COM



1/8" = 1'-0"

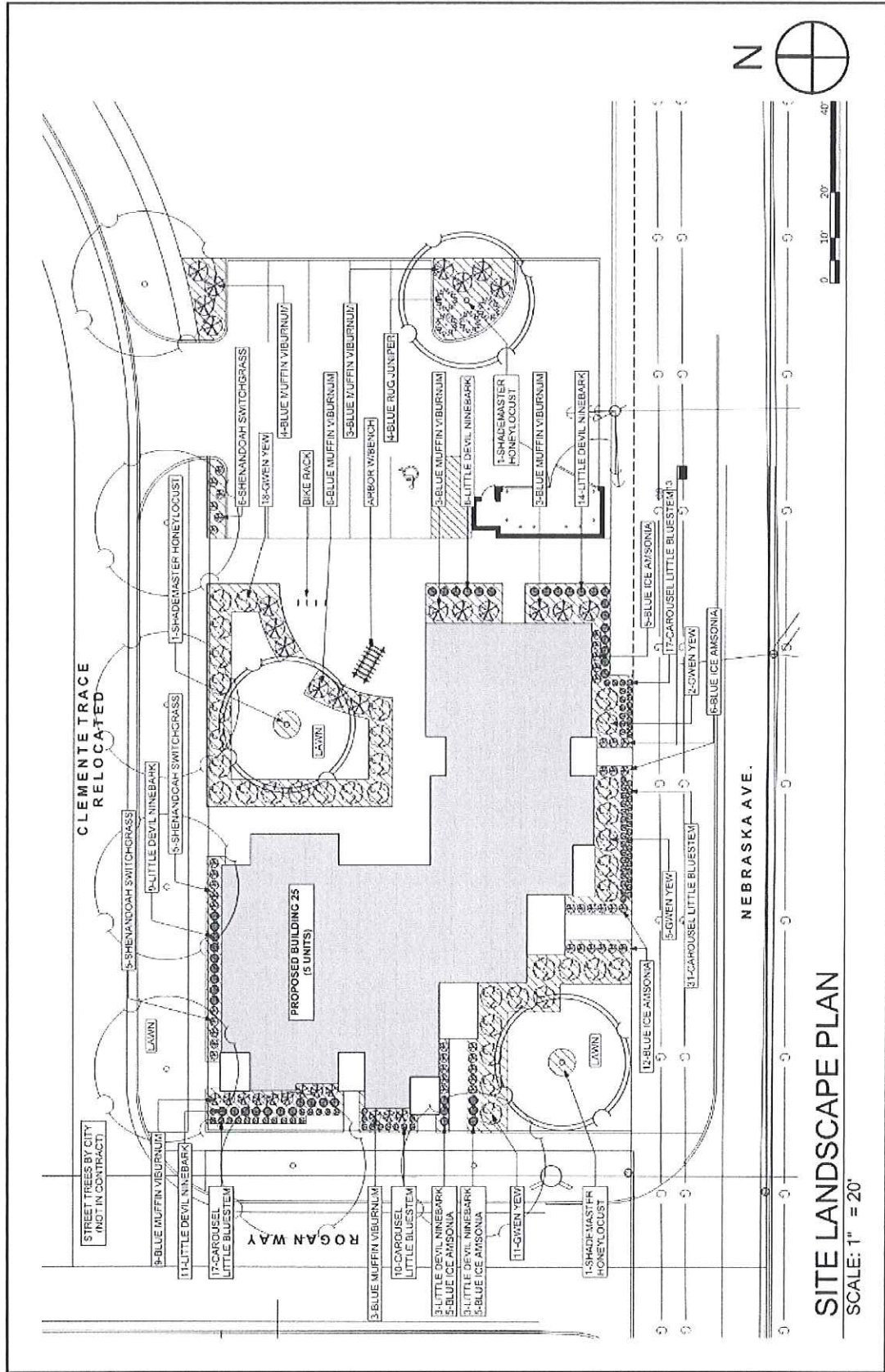


1/8" = 1'-0"

N ↑

PUD-11007-23

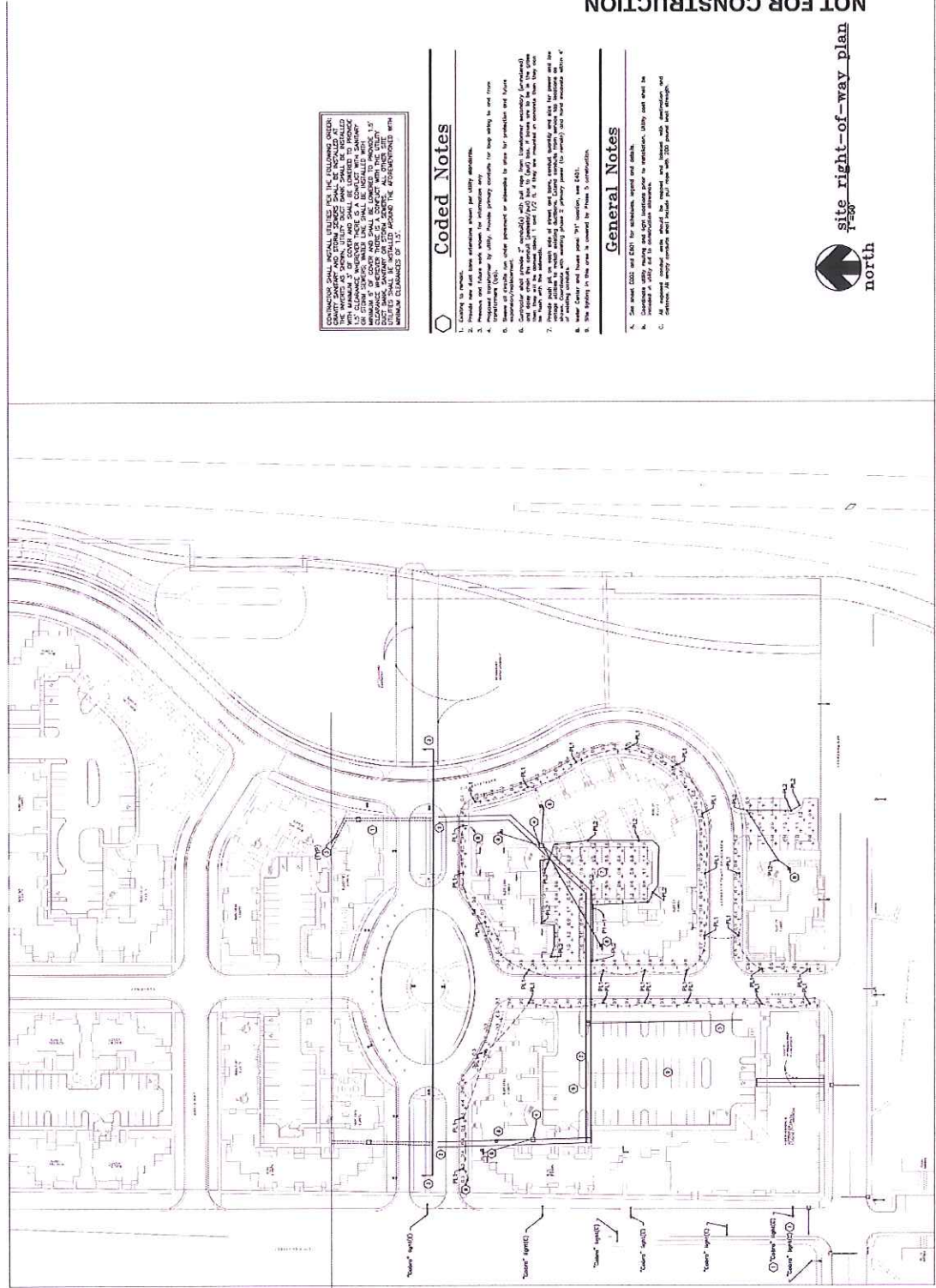
LANDSCAPE PLAN



SITE LANDSCAPE PLAN
SCALE: 1" = 20'

PHOTOMETRIC PLAN

PUD-11007-23



CONTRACTOR SHALL INSTALL ALL UTILITIES FOR THE FOLLOWING ORDER: WATER, SEWER, GAS, AND TELEPHONE. ALL UTILITIES SHALL BE INSTALLED TO THE PROPERTY LINE UNLESS OTHERWISE NOTED. ALL UTILITIES SHALL BE INSTALLED TO THE PROPERTY LINE UNLESS OTHERWISE NOTED. ALL UTILITIES SHALL BE INSTALLED TO THE PROPERTY LINE UNLESS OTHERWISE NOTED.

Coded Notes

1. Existing site conditions shall be shown as indicated.
2. Proposed site conditions shall be shown as indicated.
3. Proposed site conditions shall be shown as indicated.
4. Proposed site conditions shall be shown as indicated.
5. Proposed site conditions shall be shown as indicated.
6. Proposed site conditions shall be shown as indicated.
7. Proposed site conditions shall be shown as indicated.
8. Proposed site conditions shall be shown as indicated.

General Notes

- A. See sheet ES02 and ES03 for additional notes and details.
- B. Coordinate utility markings and depths indicated prior to installation. Utility work shall be done in accordance with applicable codes and standards.
- C. All proposed work shall be shown as indicated.
- D. All proposed work shall be shown as indicated.

LMHA CWG
PHASE IV
Collingwood
LUMINA OHIO

THE COLLABORATIVE
BERARDI
ARCHITECTURAL, INTERIOR DESIGN, LANDSCAPE ARCHITECTURE
PHOTOGRAPHY, VIDEOGRAPHY

BID SET
PROJECT DATE: 01/27/2015
PROJECT # : 2015

ELECTRICAL
SITE RIGHT-OF-WAY
PLAN
ES101

site right-of-way plan
north

NOT FOR CONSTRUCTION



TOLEDO - LUCAS COUNTY PLAN COMMISSIONS

One Government Center, Suite 1620, Toledo, OH 43604 P: 419 245-1200 F: 419 936-3730

DATE: December 29, 2023

REF: PUD-11007-23

PLANNER: Tetteh

Lucas County Metropolitan Housing
424 Jackson Street
Toledo, OH 43604

Ray Micham
The Collaborative
One Seagate
550 N Summit Street, Level 118
Toledo, OH 43604

Lewandowski Engineers
234 N. Erie Street
Toledo, OH 43604

PUBLIC HEARING DATE

Thursday, January 11, 2023

Please be advised that your request for an amendment to Planned Unit Development granted by Ord. 550-12, 87-17, 30-21 and 611-22 at 801 Division Street has been scheduled for public hearing before the Toledo City Plan Commission. This hearing will be held in the **City Council Chambers, One Government Center**, Jackson and Erie Streets, Toledo, Ohio on **Thursday, January 11, 2023** at **1:00 p.m.**

The purpose of the public hearing is to enable the Plan Commissions to consider your request in an open and public forum. This allows you and the surrounding property owners an opportunity to offer any and all opinions and comments regarding the request.

You or your representative should make every attempt to attend this hearing in order to respond to any questions or concerns which may arise. In the event you are unable to attend the public hearing, it is suggested that you notify the Plan Commission staff at 419-936-2585 prior to the meeting.

Please Note: **Failure to attend or be represented could result in the Plan Commission deferring action on your request.**

TOLEDO CITY PLAN COMMISSION