

GENERAL INFORMATION

Subject

- | | | |
|-----------|---|---|
| Request | - | Major Site Plan Review for a new industrial building and parking lot |
| Location | - | 6123 Jason Street (1800 Nathan Street) |
| Applicant | - | Adam Therrien
1800 Nathan Street LLC
10499 Royalton Road
North Royalton, OH 44133 |
| Developer | - | Douglas Glover
Miller Diversified Construction Co.
1656 Henthorne Drive
Maumee, OH 43537 |
| Architect | - | Level Heads
6925 Chadbourne Drive
Valley View, OH 44125 |

Site Description

- | | | |
|--------------|---|---------------------------------------|
| Zoning | - | IL / Limited Industrial |
| Area | - | ± 12.0 Acres |
| Frontage | - | ± 521.27' Jason Street |
| Frontage | - | ± 721.85' Nathan Street |
| Existing Use | - | Vacant |
| Proposed Use | - | Semi-trailer sales and service center |

Area Description

- | | | |
|-------|---|---|
| North | - | Vacant / IL |
| South | - | Nathan Street, warehouses, manufacturing / IL |
| East | - | Jason Street, warehouses, offices, manufacturing / IL |
| West | - | Railroad, auto repair and service / RS6 & IG |

Parcel History

- | | | |
|-----------|---|--|
| SPR-44-08 | - | Major Site Plan Review for industrial expansion located at 1800 Jason Street in North Cross Industrial Park (PC approved 9/11/08). |
|-----------|---|--|

GENERAL INFORMATION (cont'd)Parcel History (cont'd)

T-96-97	-	Lot split for Nathan Street right-of-way (Administratively approved 7/8/97).
S-19-96	-	Preliminary drawing review for North Cross Industrial Park Plat (PC approved 4/10/97, final plat approved for Plat One 5/28/98, final plat for Plat Two approved 2/11/99, final plat approved for Plat Three 4/22/99).
Z-8046-96	-	Zone change from R-2 Single-Family Residential to M-1 Light Industrial (PC approved 9/12/96; CC approved 3/18/97, Ord. 156-97).
Z-70-88	-	Zone change from R-2 Single-Family Residential to R-MH Mobile Home Park Residential (PC approved 6/16/88; CC disapproved 8/24/88).
Z-21-79	-	Zone change from R-A Single-Family Residential to R-2 Single-Family Residential (PC approved 2/22/79; CC approved 3/13/79, Ord. 161-79).
S-44-78	-	Preliminary drawing review for Harbour Point Subdivision - residential (PC approved 2/22/79).
Z-20-72	-	Zone change from R-A Single-Family Residential to R-2 Single-Family Residential (CC repealed by Resolution 169-72).
S-20-71	-	Preliminary drawing review for North Pointe Subdivision - residential (PC disapproved 6/8/72).

Applicable Plans and Regulations

- Toledo Municipal Code Part Eleven: Planning and Zoning
- Toledo 20/20 Comprehensive Plan

STAFF ANALYSIS

The Applicant is requesting a Major Site Plan Review for a new industrial building and parking lot at 6123 Jason Street, formerly known as 1800 Nathan Street. Located northwest of the Jason and Nathan Street intersection, the ±12.0 acre site is currently undeveloped. The subject property is Lot 12 in the North Cross Industrial Park, which was platted to facilitate the development of a concentration of industrial uses within one area. A portion of the Silver Creek 100-year floodplain

STAFF ANALYSIS (cont'd)

is located along the west side of the subject property and was taken into consideration when the site was platted. The recorded plat included a 70 foot drainage and utility easement along the west property line. Surrounding land uses include undeveloped land to the north, Bolt Express carrier. services to the east across Jason Street, Magna TEAM Systems an auto parts supplier to the south across Nathan Street, and a railroad and landfill to the west.

The applicant is proposing a 16,000 square foot building that will include offices and six service bays for the company Transport Services. Transport Services sells, leases, and repairs semi-trailers. A parking lot for customers and employees as well as a customer pick-up area for semi-trailers is located in front of the building along Jason Street. A semi-trailer storage yard enclosed by an 8 foot high chain link fence is proposed in the rear of the building. In addition, a semi-truck and trailer parking/storage area is proposed on the south of the property along Nathan Street. Both heavy equipment repairs and heavy equipment sales/rental and are permitted uses in the IL Limited Industrial Zoning District for which the subject property is zoned. A Major Site Plan Review is required per TMC§1111.0802(B) because an industrial development with 60 or more off-street parking spaces is proposed.

Parking and Circulation

The site plan depicts one access point from Jason Street to access customer and employee parking, the building, and the semi-trailer storage yard. Another access point is proposed on Nathan Street to access the semi-truck and trailer parking/storage area. Following are parking and circulation related requirements applicable to the proposed site plan:

- Per TMC§1107.0304 a heavy equipment sales and rental use is required to have one (1) parking space per 7,500 square feet of open sales area, plus one (1) parking space per 750 square feet of enclosed sales area, plus one and a half (1.5) parking spaces per service bay. Although the proposed use includes heavy equipment sales and rental, due to the nature of semi-trailer sales, an open and closed sales area is not proposed. To ensure that appropriate parking is provided, the requirement for fleet storage use of 1 parking space per 2 employees is required in addition to one and a half (1.5) parking spaces per service bay. Based on 10 employees and six (6) service bays 14 parking spaces are required. The site plan depicts 17 parking spaces, which conforms to the minimum number of off-street parking spaces required.
- Per TMC§1107.0304 a heavy equipment sales and rental use is not required to provide bicycle parking slots. While this is the case, staff encourages the Applicant to provide bicycle parking slots to accommodate employees that may choose to use this form of transportation to get to and from work.
- Per TMC§1107.1701 one (1) van accessible parking space with at least an eight foot wide aisle abutting the designated parking space is required for a parking lot with 1-25 parking spaces. The site plan depicts one (1) van accessible parking space, which conforms to the minimum number of accessible parking spaces required.

STAFF ANALYSIS (cont'd)

- Per TMC§1107.1202(B) off-street parking facilities, including vehicular drives and maneuvering areas, are prohibited within 30 feet for properties over 5 acres and/or those with over 500 feet of frontage, of street rights-of-way, except for approved driveways from streets. The site plan depicts a semi-truck and trailer parking/storage area along Nathan Street that is 20 feet from the street right-of-way, and therefore does not comply with this requirement. The site plan will need to be revised to provide for the required 30 feet along Nathan Street.
- Per TMC§1107.1906 off-street parking and loading spaces, parking lots, maneuvering areas, aisles and driveways shall be surfaced with concrete, bituminous asphalt, or other dust-free material other than gravel or loose fill. The site plan depicts the use of “asphalt milling stone” for the majority of the semi-truck and trailer parking and storage areas. This is not an acceptable material. The site plan shall be revised to meet the surfacing materials standards of TMC§1107.1906, or the Applicant shall obtain a Board of Zoning Appeals (BZA) waiver.

Landscaping and Screening

- Per TMC§1108.0202 a minimum 30-foot-wide frontage greenbelt along public right-of-ways is required that contains at least one tree for every 30 feet of frontage, for properties over five (5) acres and/or those with over 500 feet of frontage. The frontage greenbelt applies to both Jason Street and Nathan Street. Applying this requirement to the site results in 18 trees required along Jason Street and 24 trees required along Nathan Street. The site plan depicts a 20 foot landscape buffer along Jason and Nathan Streets. The site plan will need to be revised to depict the required 30 foot frontage greenbelt. The landscape plan does not include the entire site. There is no landscape buffer noted on the landscape plan or any required trees along Jason or Nathan Street. A 30 foot frontage greenbelt shall be installed along Jason Street and Nathan Street in conformation with TMC§1108.0202. A revised landscape plan shall be submitted depicting the entire site with the required frontage greenbelt with 18 trees along Jason Street and 24 trees along Nathan Street.
- Per TMC§1108.0202 if a parking lot is proposed to be developed in the front of the property, the frontage greenbelt shall include a solid evergreen hedge planting to screen the parking lot so that no headlights of any vehicles can be seen from the public street. In this case a solid evergreen hedge is required along Jason Street and Nathan Street. The landscape plan does not depict the required evergreen planting hedge. In the case of the parking area along Nathan Street, an 8 foot high chain link fence is depicted on the site plan. If this fence was a privacy fence, or opaque in nature, staff would be supportive of permitting the fence in lieu of the required solid evergreen hedge in this location. A solid evergreen hedge for the parking lot along Jason Street and a solid evergreen hedge or privacy fence for the parking area along Nathan Street shall be installed and depicted on a revised landscape plan to comply with this requirement.

STAFF ANALYSIS (cont'd)

- Per TMC§1108.0203 a Type A landscape buffer is required along the abutting residential zoning district to the west. A Type A landscape buffer requires either a 10 foot buffer with a solid fence and 4 canopy trees and 15 shrubs per 100 linear feet or a 25 foot buffer with 4 canopy trees and 15 shrubs per 100 linear feet. The abutting residential zoning district is associated with an approximately 140 foot wide strip of property with a railroad track running through the middle. This property is undeveloped and incapable of being developed since the property is nonconforming to current lot size and frontage requirements. In addition, the property to the west of this strip of land is zoned and developed with industrial uses. Staff is supportive of not requiring a Type A buffer in this case based on these factors.
- Per TMC§1108.0203(G) dumpsters are required to be screened on all sides with any combination of evergreen plantings, fence, or wall that is a minimum in height of six feet. The site plan depicts a dumpster area in the rear of the proposed building; however, there is no screening noted. The dumpster shall be screened in accordance with TMC§1108.0203 and depicted on a revised landscape plan.
- Per TMC§1108.0203(H) in all Commercial and Industrial Districts, fencing to screen from public view open storage areas shall be required that is at least six (6) feet high, but no higher than 10 feet, and no higher than 42 inches if installed in the front setback. The fence type may be shadow box, chain link with slats, stockade, or another type approved by the Plan Commission. The site plan depicts an eight (8) foot high chain link fence located 20 feet from the property line. While a chain link fence with slats is permitted, it is not ideal or recommended because of long term maintenance issues. Staff recommends that this fence be a privacy or solid fence. The fence must also be relocated to a minimum of 30 feet from the property line along Nathan Street so that it is not located within the required 30 foot landscape greenbelt.
- Per TMC§1108.0204(B) the total interior landscaping required in parking lots is 20 square feet per parking and stacking space. Two canopy trees and six shrubs are required to be installed in interior landscape areas for each ten parking spaces within the parking lot. With 17 parking spaces proposed, 340 square feet of interior landscaping is required that includes four (4) canopy trees and 11 shrubs. The landscape plan does not depict any parking lot landscaping. Four (4) canopy trees and 11 shrubs shall be provided and depicted on a revised landscape plan to meet this requirement.
- Per TMC§1108.0204(B & C) perimeter landscaping must be installed along any parking lot area adjacent to a street, place, or driveway, or which is visible from an immediately adjacent property. This perimeter landscaping must consist of a landscape area at least 10 feet in width, and must be located between the parking lot and the property line. A minimum of at least one (1) canopy tree must be provided for each 30 linear feet, plus a continuous shrub with a minimum height of 18 inches (when installed so as to achieve full screening at maturity). The landscape plan does not depict the required parking lot perimeter landscaping. In the case of the parking area along Nathan Street, an 8 foot high chain link fence is depicted on the site plan. If this fence was a privacy fence staff would

STAFF ANALYSIS (cont'd)

be supportive of permitting the fence in lieu of the required solid evergreen hedge in this location. The required parking lot perimeter landscaping shall be installed and depicted on a revised landscape plan.

As a note, per TMC§1108.0204(D) when the parking lot perimeter landscaping width and planting requirements of Section 1108.0204 when along a public right-of-way will count towards the width and planting requirements of the frontage greenbelt requirement of Section 1108.0202.

- Per TMC§1108.0205 interior site landscaping is required in the amount of one tree per 500 feet of building coverage, foundation plantings for the full street-facing building elevations and landscape areas at major building entrances. The building covers approximately 15,000 square feet and equates to 30 required trees. Foundation plantings and landscaping at building entrances are depicted on the landscape plan. Staff is supportive of not requiring the 30 trees to meet the interior site landscaping for this site since it is proposed to be a fenced storage area.

Building Design and Materials

- Per TMC§1109.0400 along major streets, at least 30 percent of the building frontage shall not consist of a blank wall. The building facade shall be low-reflectance, subtle, neutral or earth tone colors with the exception of trim and accent areas. In addition, all structures shall utilize durable building materials such as brick, stone, metal, or concrete.

Since the subject property is not located on a major street, it does not have to comply with the requirement that 30 percent of the building frontage shall not be a blank wall. The proposed building will be constructed with split and smooth face concrete masonry units and a pre-engineered building component. The block will consist of two different earth tone colors, while the metal portion will be gray. A brandywine color will be used on proposed metal awnings. Both the proposed building materials and colors comply with this requirement.

Toledo 20/20 Comprehensive Plan

The Toledo 20/20 Comprehensive Plan targets this area for Light Industrial land uses. The Light Industrial future land use designation is intended to accommodate uses such as research, wholesale activities, warehouses and industrial/manufacturing operations that are not employment-intensive. The proposed land use conforms to the future land use designation of the Toledo 20/20 Comprehensive Plan. Additionally, the Toledo Vacant Industrial Land Use Report identified the proposed parcel in the “Alexis East Study Area” as significantly underdeveloped and allows for industrial uses. The proposed use of the subject site is in compliance with the 20/20 Comprehensive Plan and the Vacant Industrial Land Use Report.

Staff recommends approval of the proposed Major Site Plan for this industrial development because the use is permitted in the current zoning district and is compatible with the existing land

STAFF ANALYSIS (cont'd)

uses in the general vicinity. In addition, staff recommends approval because the development conforms to both the Toledo 20/20 Comprehensive Plan and the Vacant Industrial Land Use Report.

STAFF RECOMMENDATION

Staff recommends that the Toledo City Plan Commission approve SPR-50-23, a Major Site Plan Review for a new industrial building and parking lot at 6123 Jason Street (1800 Nathan Street) for the following **three (3) reasons**:

1. The proposed use is allowed in the zoning district which it is located (TMC§1111.0809(B)).
2. The proposed site plan will provide for safe, efficient and convenient movement of traffic not only within the site but on adjacent roadways as well (TMC§1111.0809(C)).
3. The proposed use complies with the 20/20 Comprehensive Plan and the Vacant and Industrial Land Use Plan.

The staff further recommends that the Toledo City Plan Commission approve SPR-50-23, a request for a Major Site Plan Review for a new industrial building and parking lot at 6123 Jason Street (1800 Nathan Street) subject to the following **forty-three (43) conditions**:

The following conditions are listed by agency of origin. Applicants are encouraged to contact each of the agencies to address compliance with their conditions.

Division of Engineering Services

1. All **proposed** sidewalk, drive approaches, curb, and pedestrian curb ramps within the public right-of-way shall be constructed in accordance with the City of Toledo Construction Standards, Specifications, Toledo Municipal Code, and Americans with Disabilities Act guidelines.
2. All commercial drive approaches, (along with the sidewalk through the drive) shall be constructed with 8" thick concrete per City of Toledo Construction Standards and Specifications. No curb shall be permitted in the right-of-way along either side of a drive approach. **No horizontal curb cutting will be permitted to create a curb drop/opening.** Existing drive approaches, including the curb drop, that will no longer be utilized shall be removed and restored with curb to match the adjacent curb.
3. Required permits for all approved work in the public right-of-way shall be obtained, before work begins, from Ted Rousos, 419-245-1347. The application can be obtained online at Toledo.oh.gov search: Right of Way opening permit.

STAFF RECOMMENDATION (cont'd)

4. The City of Toledo public water system does not appear to be impacted by this project. Refer to comments provided by the Division of Water Distribution regarding private water mains and/or service lines.
5. The stormwater control measure could require an adjustment to its size and features within its footprint such as its grading, plantings and the addition of some areas of rock. This could require further coordination with Plan Commission to receive their acceptance of minor site changes. The basin shall conform with stormwater management calculations and conform with Ohio CGP table 4a.
6. A review and approval of a full stormwater submittal is required, which requires multiple items:
 - a. Items are listed on the regional SWP3 submittal coversheet at <https://tmacog.org>. A version for use in Toledo has been provided to the SWP3 designer for this proposal.
 - b. Plans according to the 2014 Infrastructure Requirements documents found in the drop down menu on this page: <https://toledo.oh.gov/business/how-to-build-in-the-city/building-inspection-permits>.
7. Following the stormwater review, additional items are needed for approval:
 - a. As listed on the regional SWP3 submittal cover sheet (stage 2). The signed agreement (2.c) will be through a covenant which will need to be recorded.
 - b. Fee and a Toledo Licensed Sewer Contractor for the sewer construction permit.
 - c. Construction inspection and completion of obligations in the stormwater permit.
8. Sanitary sewer service for this development is available subject to the Rules and Regulations of the Department of Public Utilities.
9. A single sanitary sewer tap from this site shall be allowed into the public sanitary sewer system. Developer shall use existing sanitary tap, when available.

Water Distribution

10. Water service is available subject to the Rules and Regulations of the Department of Public Utilities.
11. Detailed plans for the proposed water main shall be submitted to the Division of Water Distribution for review and approval.

STAFF RECOMMENDATION (cont'd)

12. Plans must be submitted to Fire Prevention (rex.butler@toledo.oh.gov, 419.936.2008) for review and approval.
13. The water meter setting detail, including meter bypass (if applicable) and backflow preventer, shall be submitted to the City of Toledo Backflow Prevention Coordinator, 40 S Erie Street, Toledo, OH 43604 for review and approval. Approval of site utility plan is contingent on approval of meter setting and backflow preventer.
14. All commercial properties are required to have approved backflow protection devices installed on the domestic water service and fire protection lines. Installation of the devices must be verified by the Division of Water Distribution and all devices must be registered with BSIonline.tracking.com @ (800) 414-4990. Contact the Division of Water Distribution (419-392-2032) to verify the backflow prevention requirements for the site.
15. Existing water service lines to structures removed from the site will be abandoned by the City of Toledo at the developer's expense.
16. Detailed plans should include:
 - a. Water feature sizes and distances; maintain 18" vertical clearance between proposed water main and proposed storm sewers.
 - b. Include a callout for a 12x8 tapping sleeve and valve by the City of Toledo at the developer's expense. Excavation, shoring, valve box, backfill and restoration by the contractor.
 - c. Include a callout for a tap or tee for the domestic service; include size.

Sewer and Drainage Services

17. S&DS requires that all existing private sewer lines that are not being removed or properly abandoned (both storm & sanitary) be cleaned and inspected.
18. S&DS requires that the existing private sanitary lines (after they have been cleaned) that are not being removed or properly abandoned be televised from the building (or private cleanout) to where they connect with the public sewer system if this has not been done in the past (2) two years. An electronic copy (DVD/memory stick) shall be provided to S&DS demonstrating the lines cleaning and integrity.
19. For operation and maintenance purposes, 20 foot wide sewer and drain easements (centered on the pipe), for City use, shall be retained along the existing public sewers and drains located within the proposed use area. City access to the easement area shall not be denied by fences, walls, or other barriers. The easement shall state that no temporary or permanent structure (excluding parking lot pavement), including barriers denying access, may be constructed within the easement area.

STAFF RECOMMENDATION (cont'd)

Division of Environmental Services

20. Applicant shall maintain compliance with the City of Toledo's Storm Water regulations as specified in the Toledo Municipal Code. Special attention must be paid to all potential storm water impacts from the modification of the site, including but not limited to long-term operation and maintenance of existing structural and non-structural Best Management Practices.
 - a. Notification shall be made to the Division of Environmental Services (419-936-3015) no later than three days prior to commencement of construction activities.
 - b. Construction BMPs shall be in place prior to the start of construction activities.
 - c. SWP3 inspection reports shall be kept on site with the SWP3 and readily accessible during normal working hours.
21. Applicant shall maintain compliance with Ohio EPA's General Storm Water NPDES permit programs.
22. Applicant is strongly encouraged to include multiple green infra-structure measures to minimize runoff and increase infiltration, and to minimize amount of new and/or additional impervious surface on site.
23. Applicant is strongly encouraged to plant native, low maintenance and non-invasive trees, shrubs and perennials. Information is at <https://ohiodnr.gov/wps/portal/gov/odnr/discover-and-learn/plants-trees/invasive-plants>; a list of invasive plants and alternative species can be downloaded from https://www.oipc.info/uploads/5/8/6/5/58652481/alternatives_to_ohio_invasive_plant_species.pdf.
24. Applicant shall maintain compliance with the City of Toledo and the State of Ohio's Air Quality Regulations applicable in the Toledo Municipal Code and the Ohio Administrative Code including, but not limited to the Asbestos and the Anti-Noise Laws.

Fire Prevention

25. The proposed new building will require compliance with all applicable Building, Fire, Electrical, Mechanical and Plumbing code requirements. (OBC105.1 & 101.4)
26. Building construction plans to be submitted to the FD for review in addition to the Building Inspection Department plan submittal. (OFC104.2, OBC106.1.2 #5 & 901.2.1.1)
27. A Knox Box Gate Key Switch (or Knox Padlock if gate is not electric powered) is required for access past the gate to the rear of the building. (OFC 506.1)

STAFF RECOMMENDATION (cont'd)

28. New and existing buildings shall be provided with approved address identification that meets Building Code requirements. (OBC 501.2)
29. A fire safety inspection is required prior to occupancy. (OFC105.3.3.2)

Division of Transportation

30. Sidewalks are required on Jason Street and Nathan Street per TMC 1107.1300.
31. Accessible parking signage is required per TMC 1107.1704.
32. All parking and loading spaces, parking lots, maneuvering areas, drive aisles and driveways must be surfaced with concrete, asphalt, or other dust-free materials other than gravel or loose fill per TMC 1107.1906.

Plan Commission

33. Per TMC§1107.0304 the proposed industrial development is required to provide 14 parking spaces. The site plan depicts 17 parking spaces. **Acceptable as depicted.**
34. Per TMC§1107.0304 a heavy equipment sales and rental use is not required to provide bicycle parking slots. While this is the case, staff encourages the Applicant to provide bicycle parking slots to accommodate employees that may choose to use this form of transportation to get to work.
35. Per TMC§1107.1701 one (1) van accessible parking space with at least an eight foot wide aisle abutting the designated parking space is required. The site plan depicts one (1) van accessible parking space. **Acceptable as depicted.**
36. Per TMC§1107.1202(B) off-street parking facilities, including vehicular drives and maneuvering areas, in Industrial Districts are prohibited within 30 feet of street rights-of-way, except for approved driveways from streets. The site plan depicts a semi-truck and trailer parking/storage area along Nathan Street that is 20 feet from the street right-of-way. **Not acceptable as depicted. Off-street parking facilities shall be removed from the required 30 feet and the site plan revised.**
37. Per TMC§1107.1906 off-street parking and loading spaces, parking lots, maneuvering areas, aisles and driveways shall be surfaced with concrete, bituminous asphalt, or other dust-free material other than gravel or loose fill, and be graded to drain all surface water towards the interior of the parking lot or to a stormwater system subject to the regulations and approval of the Department of Public Utilities. The site plan depicts the use of “asphalt milling stone”. **Not acceptable as submitted. The site plan shall be revised to meet the surfacing materials standards of TMC§1107.1906, or a BZA waiver shall be obtained.**

STAFF RECOMMENDATION (cont'd)

38. A detailed site, lighting, fencing and four (4) copies of a landscaping plan (separate from building & site plans) shall be submitted to the Plan Director for review and approval. Such plan shall include:

- a. Per TMC§1108.0202 a 30-foot-wide frontage greenbelt is required along Jason Street and Nathan Street and shall include one tree for every 30 feet of frontage. Eighteen (18) trees are required along Jason Street and 24 trees are required along Nathan Street. There is no landscape buffer depicted on the landscape plan or any required trees along Jason or Nathan Street. **Not acceptable as depicted. A 30 foot frontage greenbelt shall be installed along Jason Street and Nathan Street with 18 and 24 trees respectively.**
- b. Per TMC§1108.0202 a solid evergreen hedge is required along Jason Street and Nathan Street because parking is proposed to be developed in the front of the property. The landscape plan does not depict the required evergreen planting hedge. In the case of the parking area along Nathan Street, an 8 foot high chain link fence is depicted on the site plan. **Not acceptable as depicted. A solid evergreen hedge for the parking lot along Jason Street and a solid evergreen hedge or privacy fence for the parking area along Nathan Street shall be installed.**
- c. Per TMC§1108.0203 a Type A landscape buffer is required along the abutting residential zoning district to the west. A Type A buffer in this case is not required because the abutting residentially zoned property is undevelopable. **Acceptable as submitted.**
- d. Per TMC§1108.0203(G) dumpsters are required to be screened on all sides with any combination of evergreen plantings, fence, or wall that is a minimum in height of six feet. Screening is not depicted on the landscape plan. **Not acceptable as depicted. The dumpster shall be screened in accordance with TMC§1108.0203.**
- e. Per TMC§1108.0203(H) in all Industrial Districts, open storage areas shall be screened from public view. The fence type may be shadow box, chain link with slats, stockade, or another type approved by the Plan Commission. The site plan depicts an eight (8) foot high chain link fence. While a chain link fence with slats is permitted, it is not ideal or recommended because of long term maintenance issues. **Not acceptable as depicted. The fence shall be a privacy or solid fence. The fence must also be situated a minimum of 30 feet from the property line along Nathan Street.**
- f. Per TMC§1108.0204(B) the total interior landscaping required for the customer/employee parking lot shall include 340 square feet of interior landscaping containing four (4) canopy trees and 11 shrubs. The landscape plan does not depict any parking lot landscaping. **Not acceptable as depicted. Four (4) canopy trees and 11 shrubs shall be provided to meet this requirement.**

STAFF RECOMMENDATION (cont'd)

- g. Per TMC§1108.0204(B & C) perimeter landscaping must be installed along any parking lot area adjacent to a street, place, or driveway, or which is visible from an immediately adjacent property. This perimeter landscaping must be at least 10 feet in width and contain (1) canopy tree for each 30 linear feet, plus a continuous shrub with a minimum height of 18 inches. The landscape plan does not depict the required parking lot perimeter landscaping. **Not acceptable as depicted. The required parking lot perimeter landscaping shall be installed. A privacy fence may be installed in lieu of the required shrubs for the parking area along Nathan Street.**
 - h. Per TMC§1108.0205 interior site landscaping is required in the amount of 30 trees and foundation plantings for the full street-facing building elevations and landscape areas at major building entrances. Foundation plantings and landscaping at building entrances are depicted on the landscape plan. **Acceptable as depicted.**
 - i. Topsoil must be back filled to provide positive drainage of the landscape area.
 - j. Landscaped areas may not contain bare soil, aggregated stone or decorative rock. Any ground area must be covered with hardwood mulch, grass or other vegetative ground coverage.
 - k. The location, number, height, diameter and species of any materials to be planted and maintained, as well as the location and number of any existing trees to be retained.
 - l. The site is ½ acre or larger, so landscaped areas must be irrigated as necessary to maintain required plant materials in good and healthy condition. Irrigation plans must be submitted with development plans and must contain all construction details;
 - m. The location and direction of any proposed lighting (lights are to be directed away from adjacent residential properties); and,
 - n. The location, lighting and size of any signs.
39. Per TMC§1109.0400 along major streets, at least 30 percent of the building frontage shall not consist of a blank wall. The building facade shall be low-reflectance, subtle, neutral or earth tone colors with the exception of trim and accent areas. In addition, all structures shall utilize durable building materials such as brick, stone, metal, or concrete. **Acceptable as depicted.**
40. No new free-standing signs greater than forty-two (42) inches from grade are permitted – any proposed signage must meet the requirements of Toledo Municipal Code Title Nine – Sign Code.

STAFF RECOMMENDATION (cont'd)

41. Per TMC§1111.0814 if a building permit is not issued within one year of the Site Plan approval, the approved plan shall lapse and become null and void.
42. Minor adjustments to the Site Plan that do not violate the above conditions, or the Toledo Municipal Code, may be reviewed and approved by the Director of the Toledo City Plan Commission.
43. No permits shall be issued until arrangements satisfactory to the Director of the City of Toledo Plan Commission have been made for compliance with the conditions as set forth above.

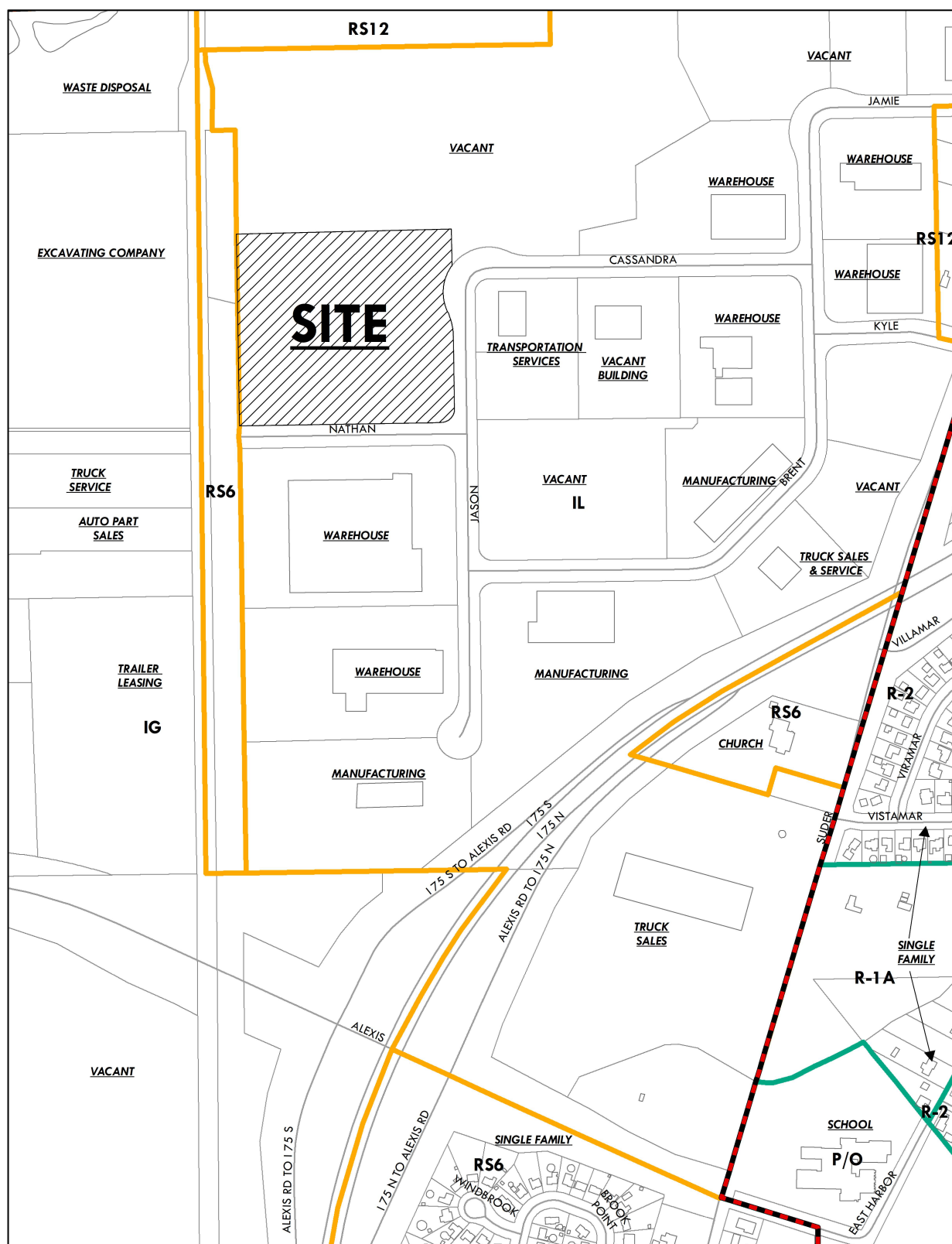
MAJOR SITE PLAN REVIEW
TOLEDO CITY PLAN COMMISSION
REF: SPR-50-23
DATE: February 8, 2024
TIME: 2:00 P.M.

LK
Seven (7) sketches follow

GENERAL LOCATION

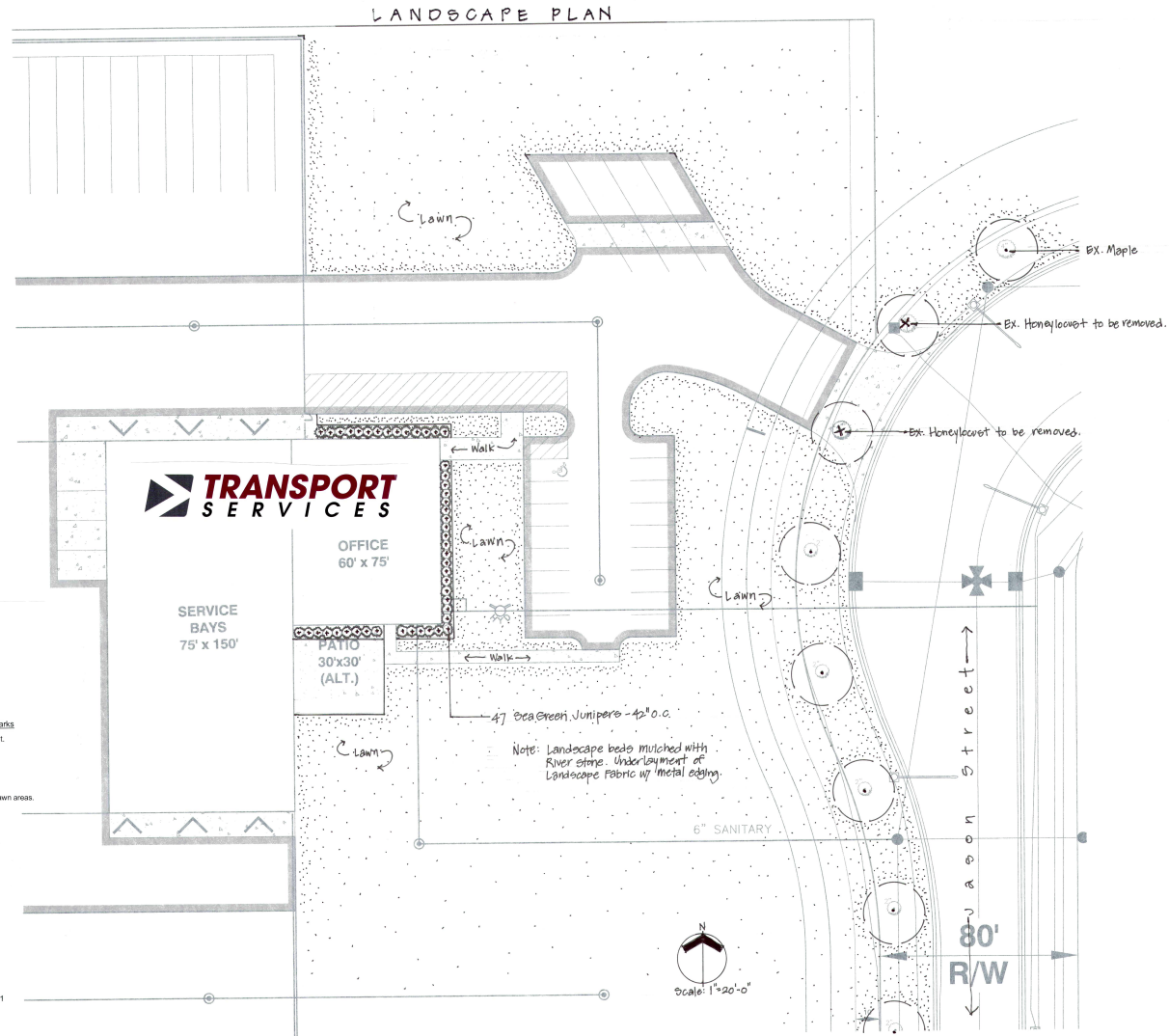
SPR-50-23





LANDSCAPE PLAN

SPR-50-23



TRANSPORT SERVICES
Toledo, Ohio
PLANT LIST

Qty	Botanical Name	Common Name	Size	Remarks
47	Juniperus 'Sea Green'	Sea Green Juniper	#3	Cont.

Date: 12-19-2023

NOTE: A permanent artificial watering system will be provided for plantings and lawn areas.



Brian James Yoder

BRIAN JAMES YODER - Registered Landscape Architect - State of Ohio - #7771



3D SITE VIEW & BUILDING MATERIALS TABLE

SPR-50-23



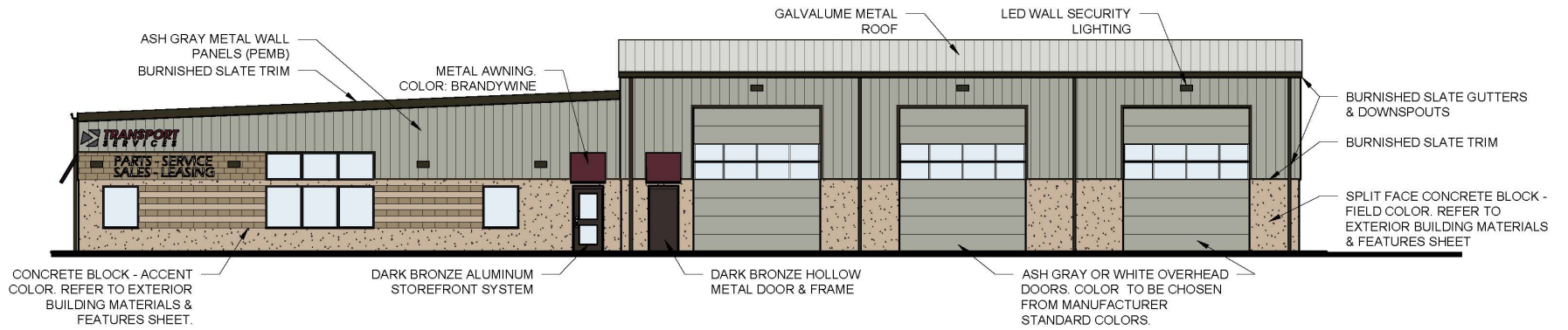
	Exterior Elevation:				SF Totals	% Mat'l
	North	East	South	West		
Exterior Material:	792	1,643	923	3,151	6,509.00	61%
Metal Panel	520	956	568		2,044.00	22%
CMU - Split-Faced	131	143	60		334.00	
CMU - Smooth-Faced	129	87	56		272.00	3%
Glazing	672		672		1,344.00	13%
Overhead Doors/w glass	49	46	49		144.00	1%
Total SF:	2,293.00	2,875.00	2,328.00	3,151.00	10,647.00	100%

* Did not include SF of trim, gutters, or canopies

levelHEADS

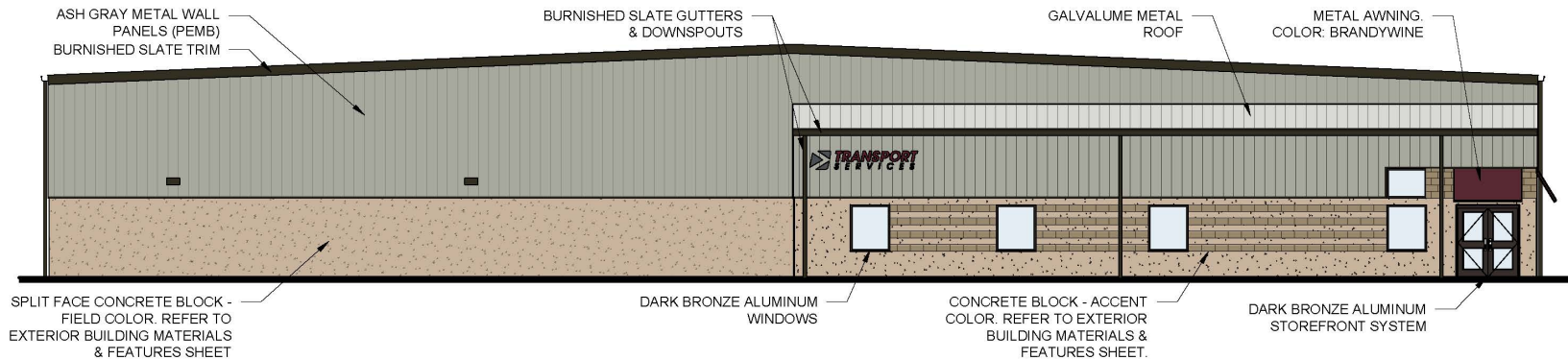
NORTH AND EAST BUILDING ELEVATIONS

SPR-50-23



NORTH ELEVATION

3/32" = 1'-0"



EAST ELEVATION

3/32" = 1'-0"

SOUTH AND WEST BUILDING ELEVATIONS

SPR-50-23

