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CASE # BZ25-04414

CITY OF TOLEDO  
Department of Building and Code Compliance  
Division of Building Inspection

One Government Center, Suite 1600 • Toledo, OH 43604 • Phone (419) 245-1220 • Fax (419) 245-1329 • www.toledo.oh.gov

APPLICATION TO THE ADMINISTRATIVE BOARD OF ZONING APPEAL (BZA)  
TMC Chapter 1112.0200

Site Location 2204 N. Reynolds Road Zoning District 10-CR Date 12/23/2024

Legal Description 69 26 SE 1/4 S 177.5 FT FRNT W 200 FT S 315 FT W 1/2 E 1/2

Applicant's Name (print) Chafic Elkhechen

Appeal (Dept. of Inspection ruling -- Title Nine Sign Code) \_\_\_\_\_ Hardship Variance X

Exception \_\_\_\_\_ Appeal decision \_\_\_\_\_ ADA Accommodation \_\_\_\_\_

TMC § 1107.1202 B, 3 - 25 feet for properties less than 5 acres and/or those with less than 500 feet of frontage of the street right-of-way when located within 50 feet of a Residential district that fronts on the same street as the lot containing the off-street parking area

Applicant Signature [Signature] Phone 419-936-4632

Applicant's Street Address 2204 N. Reynolds Road Fax \_\_\_\_\_

Applicant's City, State, Zip Toledo, OH 43615 E-Mail Chafic17@lcloud.com

- Applications must be accompanied with:
1. 3 photos -- showing different views of the site
  2. Letter explaining your zoning request with full and accurate information.
  3. Complete, clear site plan -- recommended scale 1"=20' on 8-1/2' x 11" paper showing dimensions to all lot lines and the size of all structures on the premises.
  4. Fee = \$200 Checks may be made payable to "City of Toledo."

Applicant:  
You should receive a written notice of the staff recommendation no later than Wednesday preceding the hearing date. Please call (419) 245-1220 if you do not receive this notice.

Return the application documents by mail to: Division of Building Inspection, One Government Center, Suite 1600, Toledo, OH 43604; or in person with the application documents and fee. Applications are due 6 weeks before the Board of Zoning Appeals' meeting to allow proper notification of neighbors. Meetings are typically held the third Monday of every month at 10:00 AM, in City Council Chambers, One Government Center, Toledo, OH 43604. The applicant or the applicant's representative must be present.

+++++ OFFICE USE +++++

Permit Tech Checklist: Application complete  Photos  Letter  Proper Site Plan  SWO N/A

Copy Zoning Map  http://local.live.com/ Transportation notified to check site distance hazard

Code Enforcement notified if orders are being appealed. N/A Permit Tech's Initials JV Date 2/10/25

Reviewed by \_\_\_\_\_ Date \_\_\_\_\_ Staff Recommendation TRANSPORTATION / TRAFFIC MANAGEMENT  
HAS NO ISSUES Aaron Galambos 2-10-25

Board Decision \_\_\_\_\_ Date \_\_\_\_\_  
P.: Inspection, BZA 3/15/2024 kjr



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CASE # BZA25-00010

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Copy Zoning Map  <http://local.live.com/> Transportation notified to check site distance hazard  FRANCO ANTON 2/10/25

Code Enforcement notified if orders are being appealed. N/A Permit Tech's Initials JN Date 2/10/25

Reviewed by \_\_\_\_\_ Date \_\_\_\_\_ Staff Recommendation \_\_\_\_\_

Board Decision \_\_\_\_\_ Date \_\_\_\_\_

P.: Inspection, BZA

3/15/2024 kjr



## CITY OF TOLEDO BOARD OF ZONING APPEALS - MEETING NOTES

HEARING DATE: Monday, March 17, 2025	BZA NO: BZA25-00010	APPLICANT: Chafic Elkhechen
SITE LOCATION: 2204 N Reynolds Rd	ZONING DISTRICT: 10-CR	SWO OR NOL ISSUED: N/A

TMC CODE:	1107.1202
CODE DESCRIPTION:	<p><b>A. Residential Districts</b></p> <ol style="list-style-type: none"> <li>1. no parking space may be located within the front yard, except that parking spaces for detached houses, attached houses, and duplexes may be located on a driveway;</li> <li>2. the paved area of driveways serving detached houses, attached houses, or duplexes may not cover more than 40 percent of the front yard up to a maximum driveway width of 24 feet;</li> <li>3. off-street parking spaces are prohibited within required landscape buffers;</li> <li>4. off-street parking areas serving multi-dwelling and nonresidential uses must be set back at least 10 feet from all RS and RD zoning districts. See XXChapter 1108XX for applicable landscaping and screening requirements; and</li> <li>5. see also Sec. XX1105.0204XX Rear Yard Coverage in Residential Districts, and Sec. XX1105.0600XX Residential Garages.</li> </ol> <p><b>B. Commercial and Industrial Districts</b></p> <p>Off-street parking facilities, including vehicular drives and maneuvering areas, in Commercial or Industrial districts are prohibited within:</p> <ol style="list-style-type: none"> <li>1. required landscape buffers (see XXChapter 1108XX);</li> <li>2. 15 feet, and for properties over 5 acres and/or those with over 500 feet of frontage 30 feet, of street rights-of-way, except for approved</li> </ol>
ANALYSIS:	10' under required 25' set-back.

BOARD MEMBERS	1ST/2ND MOTION	1ST/2ND IF 2ND MOTION	YEA	NAY	ABSENT	RECUSE	LEFT BEFORE VOTE TAKEN	
ROBERT PASKER								
CHRISTY SONCRANT								
CARRIE HARTMAN								
DEVON OVERTON								
NATHAN KNAPKE								
JULIA RANGLES								
ERIC CRAIG								

VOTING RESULTS:	APPROVED	DISAPPROVED	DEFERRED	WITHDRAWN
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CONDITIONS OF APPROVAL



**Architecture By Design, Ltd.**

5622 Mayberry Square  
Sylvania, Ohio 43560  
p 419 824 3311 | f 419 824 3322

architecturebydesign@bex.net  
www.architecturebydesign.net

January 29, 2025

Department of Building Inspection  
One Government Center, Suite 1620  
Toledo, Ohio 43604

RE: BZA Application for:  
Used Car Lot  
2204 N. Reynolds Road  
Toledo, Ohio 43615  
ABD #24222

Department of Building Inspection:

On behalf of our client, Mr. Chafic Elkhechen, we are requesting a BZA for a proposed used car lot located at 2204 N. Reynolds Road, Toledo, Ohio. We are requesting a variance for the required 25'-0" setback for frontage landscaping along both N. Reynolds Road and Bancroft Street due to existing lot constraints. We request a maximum of 10'-0" reduction from the required 25'-0" setback along both North Reynolds Road and Bancroft Street of the corner lot for a minimum 15'-0" width. The 25'-0" setback would create a hardship in the functioning of the proposed use for the site by restricting traffic flow through the site. Without adequate travel lanes through the site, movement of cars onto the site and within the site would be restricted and non-functional. Car delivery carriers would be forced to park in the street in order to unload the vehicles.

We have been in discussions with the Planning and Zoning staff in order to resolve the frontage greenbelt and interior landscape island requirements and the Planning staff has indicated that a 15'-0" frontage / parking perimeter greenbelt will be acceptable.

If there are any questions in regards to this project, please contact our office. We look forward to hearing from you after your review.

Respectfully,  
Architecture By Design, Ltd.

A handwritten signature in cursive script that reads 'Angela Holm'.

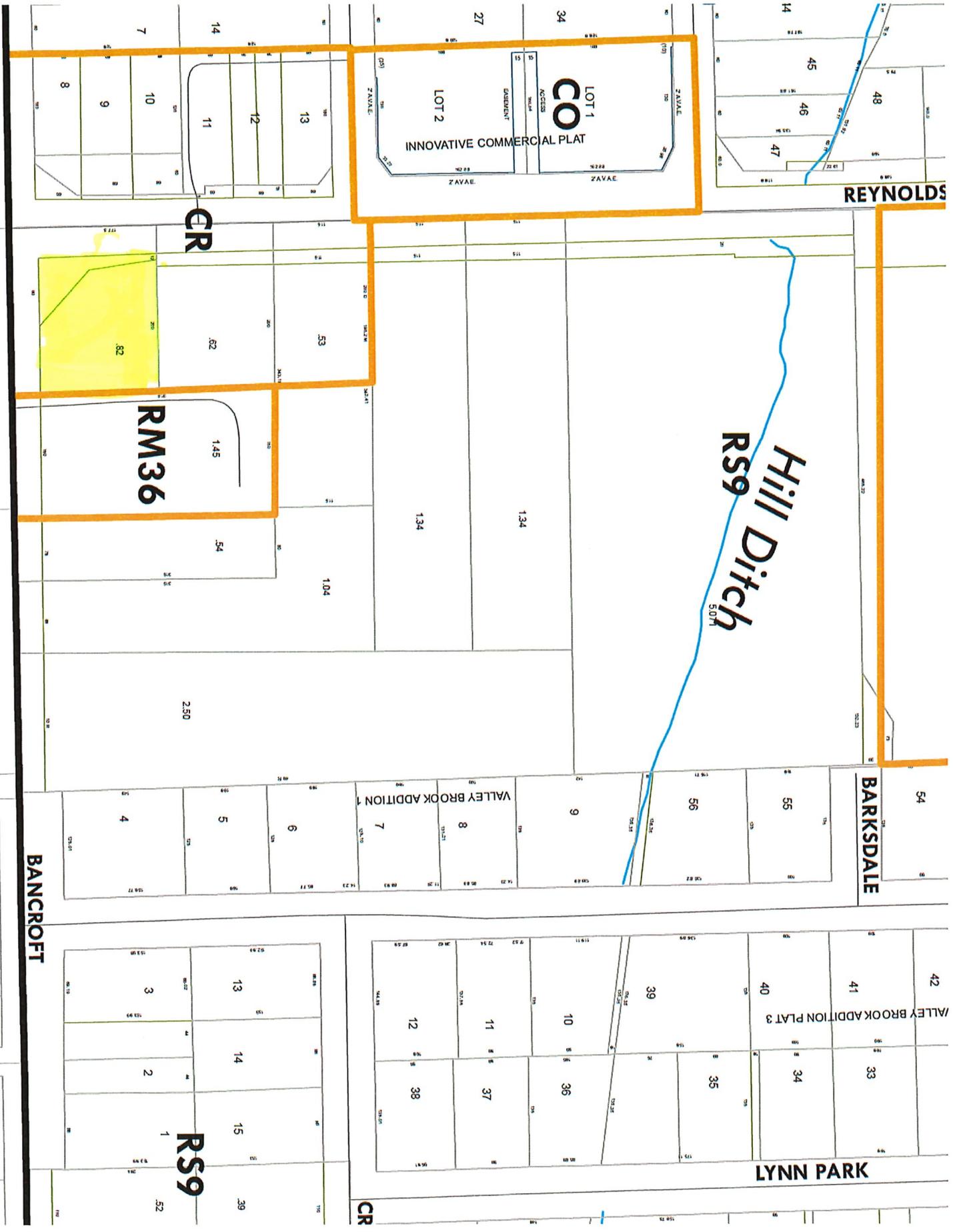
Angela Holm, Assoc. AIA, LEED AP  
Project Manager

Cc: Mr. Chafic Elkhechen  
File: 24222.bza application.pdf









## 1107.1202 Setbacks

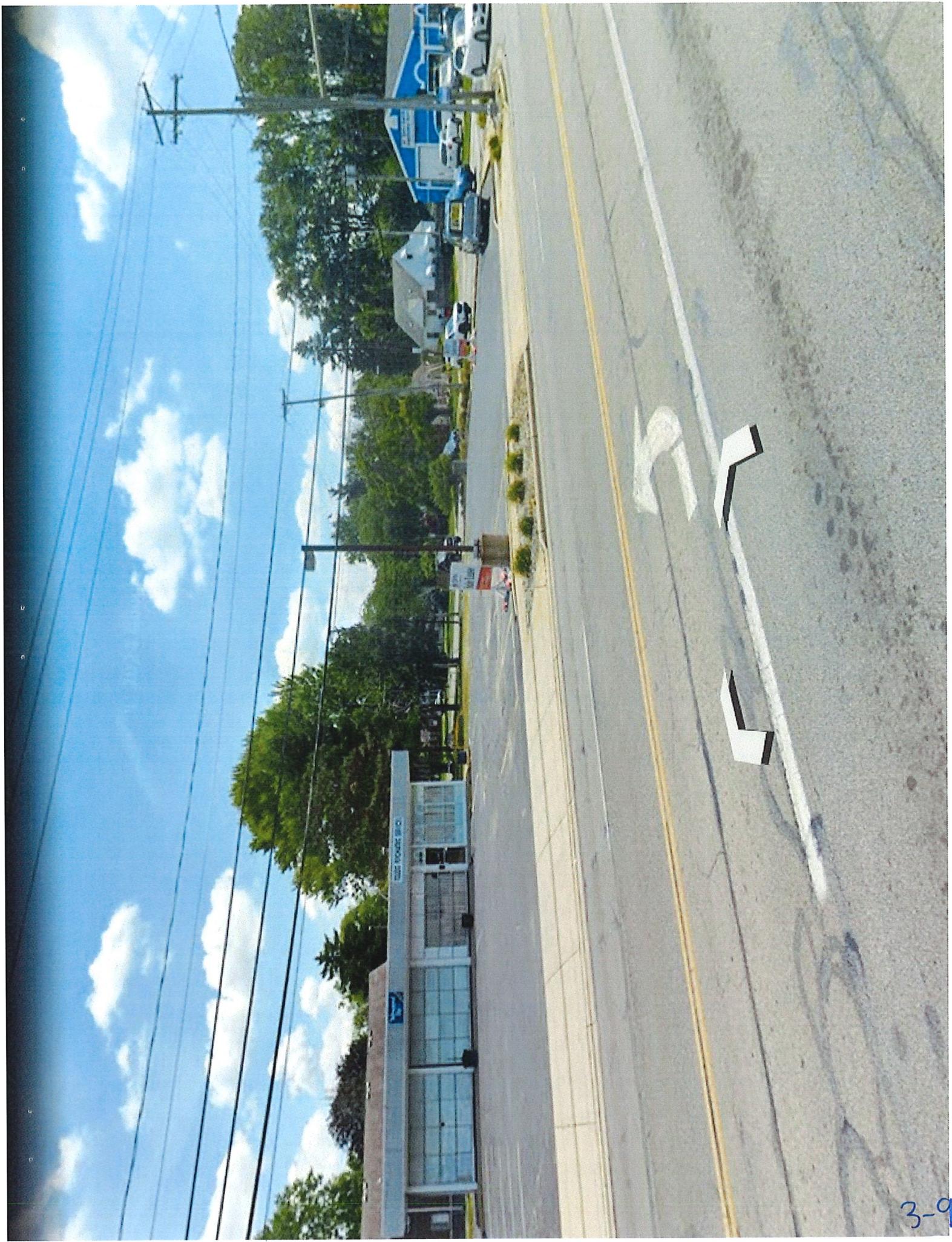
### A. Residential Districts

1. no parking space may be located within the front yard, except that parking spaces for detached houses, attached houses, and duplexes may be located on a driveway;
2. the paved area of driveways serving detached houses, attached houses, or duplexes may not cover more than 40 percent of the front yard up to a maximum driveway width of 24 feet;
3. off-street parking spaces are prohibited within required landscape buffers;
4. off-street parking areas serving multi-dwelling and nonresidential uses must be set back at least 10 feet from all RS and RD zoning districts. See Chapter 1108 for applicable landscaping and screening requirements; and
5. see also Sec. 1105.0204 Rear Yard Coverage in Residential Districts, and Sec. 1105.0600 Residential Garages.

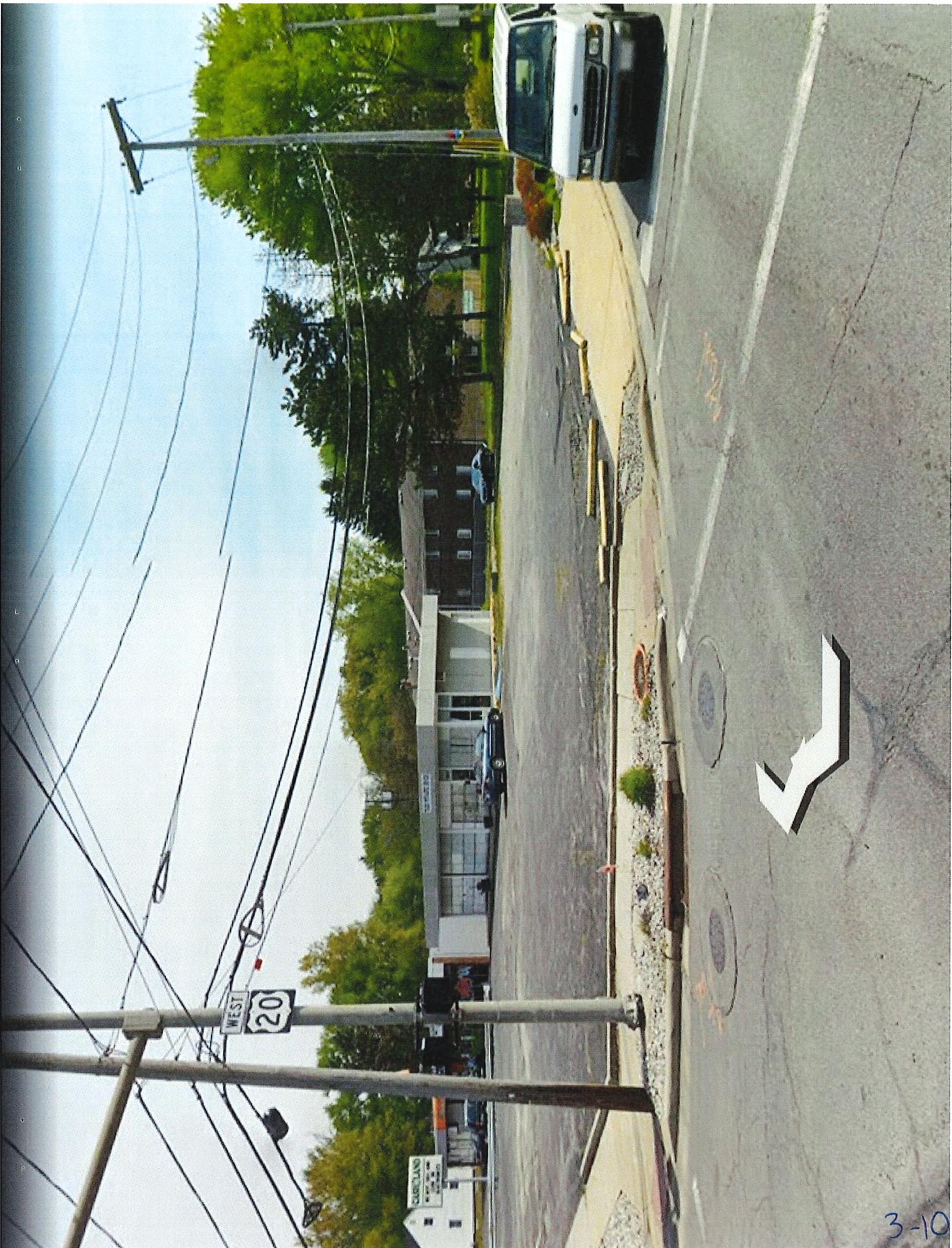
### B. Commercial and Industrial Districts

Off-street parking facilities, including vehicular drives and maneuvering areas, in Commercial or Industrial districts are prohibited within:

1. required landscape buffers (see Chapter 1108);
2. 15 feet, and for properties over 5 acres and/or those with over 500 feet of frontage 30 feet, of street rights-of-way, except for approved driveways from streets;
3. 25 feet for properties less than 5 acres and/or those with less than 500 feet of frontage of the street right-of-way when located within 50 feet of a Residential district that fronts on the same street as the lot containing the off-street parking area; and
4. 10 feet from all RS and RD districts.



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